

HERITAGE IMPACT STATEMENT

RICHMOND MALTINGS (VHR 2050)
&
NYLEX SIGN (VHR 2049)

GOUGH STREET, CREMORNE

PROPOSED REDEVELOPMENT

Prepared for
Caydon Cremorne Developments Pty Ltd



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LOVELL CHEN

ARCHITECTS & HERITAGE CONSULTANTS

LEVEL 5, 176 WELLINGTON PARADE
EAST MELBOURNE 3002
AUSTRALIA
TEL +61 (0)3 **9667 0800**
FAX +61 (0)3 9416 1818
enquiry@lovellchen.com.au
www.lovellchen.com.au

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Cover image: Source State Library of Victoria

1.0 Introduction

This heritage impact statement (HIS) has been prepared on behalf of Caydon Cremorne Developments Pty Ltd, and accompanies two Heritage Victoria permit applications for proposed works and development at the former Richmond Maltings, Gough Street, Cremorne (VHR 2050); and the Nylex Sign, Gough Street, Cremorne (VHR 2049). The Nylex Sign is located on the Richmond Maltings site (Figure 1).



Figure 1 Recent aerial image of the Richmond Maltings site; the location of the Nylex Sign is indicated
Source: Nearmap

1.1 Existing conditions and current use

1.1.1 Richmond Maltings

Richmond Maltings is located in Gough Street, Cremorne, on the north side of the Yarra River (Figure 2). It is bounded by Harcourt Parade (and the ramp entrance to the Monash Freeway) to the south; a triangular area of land abutting Hoddle Street to the west; Gough Street to the north side; and Cremorne Street to the east. The Nylex Sign, atop the 1960s silos building, is included in the property boundary.

Richmond Maltings comprises buildings and structures dating from 1880 to the 1960s, including former malt houses, malt and barley storage facilities (including silos), office and laboratory facilities, and associated plant. The buildings vary widely in terms of their form, foot print and scale, with single-storey through to multi-storey buildings, including tall silos of the 1950s and 1960s. Face brick, concrete and corrugated asbestos cement sheet and steel sheet are typical of the materials used across the site.

The surviving malt houses date from different eras and operational phases, and were associated with different malting technologies. Individually they retain, to a greater or lesser degree, evidence of the principal stages of the malting process - storage, steeping, germinating, drying (kilning) and bagging. The remnant buildings have also been subject to varying degrees of external and internal alteration and extension, chiefly to accommodate the introduction of new plant and equipment, an upgrade in technology, or the removal of fabric and machinery to provide spaces for new uses within the buildings. A multitude of extraneous items have additionally been added to the exteriors of the buildings, and to the site generally, including conveyors, gantries, bridges, piping, services, plant, skillion attachments and minor structures.

Production of malt on the site ceased in the 2000s and it is currently used as a bulk malt storage and handling facility, a function which will cease in the near future. In large part the former malt houses are unused, with limited use of one former office building.

The condition of buildings on the site is fair to poor with increasing evidence of vandalism, particularly as related to the application of graffiti. A number of the buildings contain hazardous materials, in particular asbestos in cladding and lagging, and securing these and the site as a whole has been found to be difficult with evidence of repeated forced entry. The expectation is that once the site is vacated it will be extremely difficult to prevent illegal access and consequential damage.



Figure 2 Richmond Maltings property at 2 Gough Street, Cremorne
Source: Land Victoria.

1.1.1 Nylex Sign

The Nylex Sign dates from c.1962 when Moulded Plastics Australia Pty Ltd, the company which owned the rights to the 'Nylex' name, constructed the sign on the (then) partially completed concrete silos. Other signage was also attached to the silos. The Nylex Sign is a double-sided sky-sign, mounted on a cross-braced frame of steel angles, approximately 15 metres high.

The sign proper consists of a rectangular substrate with the words 'Nylex Plastics', surmounted by an LED digital clock/temperature gauge display (the latter is not original). The word 'Nylex' is formed by individual metal trough sans serif letters, painted white, each about 2.5 metres high and containing rows of light bulbs. The word 'plastics' is composed of metal trough serif lettering, approximately one metre high, illuminated by Neon tube. The word 'plastics' has a secondary layer of Neon tubing, without metal trough backing, which spells out the phrase 'every time'.

1.2 The proposed works

The proposed works are directed at adapting the site for residential and commercial use. The works comprise demolition, adaptation and new construction across the site. These works are to be delivered in two stages over 2017-2019 and 2019-2021. The core development activities in each stage are as set out below. The 'B' reference numbers refer to the buildings as listed in the extent of registration (Figure 3).

Stage 1 – 2017-2019

- Demolition of remnant malt house walls on Cremorne and Gough Streets (B1 and B2)
- Demolition of the rear two storey section of the former office building on Gough Street (B3)
- Demolition of the single storey office at the south end of the former malt house, B4
- Demolition of gantries and sundry minor structures attached to the former malt houses, B4 and B5
- Removal of various elements from the east end of the site including modern piping, plant, minor structures/additions, steel silos and other extraneous elements
- Adaptation of the former malt houses B4 and B5 for commercial use
- Construction of new retail, office and apartment towers on the corner of Gough and Cremorne Streets
- Construction of associated landscape works

Stage 2 – 2019-2021

- Demolition of former malt houses B7 and B10
- Demolition of the former barley store B11
- Part demolition of malt store B6 and silos B9
- Adaptation of the silos B8
- Addition to the top of the retained silo cylinders of B9 including dismantling and re-erection of the Nylex Sign
- Construction of new apartment towers as attached to silos B9 and set over former malt store B6
- Construction of associated landscape works

1.3 Plans and documentation lodged with the applications

The following plans and documentation are lodged with the two permit applications, and referred to in this report. Some are lodged for information only, while others are lodged for endorsement.

The plans have variously been prepared by:

- Fender Katsalidis Architects (FKA)
- Lovell Chen (LC)
- Oculus

Other documents and reports of relevance are also listed in the table.

Table 1 List of plans and reports

Plans and documentation		Prepared by
<i>Whole Site Plan _ Demolition and Retention</i>		
<ul style="list-style-type: none"> • WS000 Coversheet • WS0001 Whole site plan _ demolition and retention 		LC
<i>Stage 1 East: FKA building</i>		
<ul style="list-style-type: none"> • TP000 Coversheet • TP001 Site plan • TP002 Demolition plan • TP098 Basement level 2 • TP099 Basement level 1 • TP100 Ground level • TP101 Level 1 • TP102 Level 2 • TP103 Level 3 • TP104 Level 4 • TP105 Level 5 • TP106 Level 6 • TP107 Level 7 • TP108 Level 8+10 • TP109 Level 9+11 • TP110 Level 12 • TP111 Level 13 • TP112 Level 14 • TP114 Roof • TP200 North elevation • TP201 East elevation • TP202 South elevation • TP203 West elevation • TP205 North elevation 02 • TP300 Section a • TP301 Section b • TP302 Section c • TP700 Materials board 01 • TP701 Materials board 02 		FKA
<i>Stage 1 West: B4 and B5</i>		
<ul style="list-style-type: none"> • HV00 Coversheet • HV01 Buildings B4 & B5 site plan • HV02 Ground floor demolition, salvage and conservation • HV03 First floor demolition, salvage and conservation • HV04 Second floor demolition, salvage and conservation • HV05 Roof level demolition, salvage and conservation • HV06 Elevations B4 demolition, salvage and conservation • HV07 Elevations B5 demolition, salvage and conservation • HV08 Elevations demolition, salvage and conservation • HV10 Ground floor proposed works 		LC

Plans and documentation	Prepared by
<ul style="list-style-type: none"> • HV11 Level 1 proposed works • HV12 Level 2 proposed works • HV13 Roof plan proposed works • HV30 Elevations B4 proposed works • HV31 Elevations B5 proposed works • HV32 Elevations Gough St proposed works • HV40 Sections proposed works • HV41 Sections proposed works • HV42 Sections proposed works • HV60 3d views • HV61 3d views • HV70 Materials B4 existing • HV71 Materials B5 existing • HV72 Materials introduced 	
<i>Stage 2 FKA Buildings including LC Conservation B6 & B8</i>	
<ul style="list-style-type: none"> • HV_B6B80 cover sheet • HV_B6000 B6 lower ground conservation and demolition plan • HV_B6001 B6 upper ground conservation and demolition plan • HV_B6002 B6 roof conservation and demolition plan • HV_B6003 B6 conservation and demolition elevations • HV_B6004 B6 conservation and demolition elevations • HV_B6005 B6 conservation and demolition sections • HV_B8000 B8 plan • HV_B8001 B8 conservation and demolition elevations • HV_B8002 B8 conservation and demolition elevations • TP095 Basement 05 plan • TP096 Basement 04 plan • TP097 Basement 03 plan • TP098 Basement 02 plan • TP099 Basement 01 plan • TP100 Ground level • TP101 Level 1 plan • TP102 Level 2 plan • TP103 Level 3 plan • TP104 Level 4 plan • TP105 Level 5 plan • TP106 Level 6 plan • TP107 Level 7 plan • TP108 Level 8 plan • TP109 Level 9 plan • TP110 Level 10 plan • TP111 Level 11 plan • TP112 Level 12 plan • TP113 Level 12 plan • TP114 Level 12 plan • TP115 Level 12 plan • TP116 Level 12 plan 	LC and FKA

Plans and documentation	Prepared by
<ul style="list-style-type: none"> • TP500 Materials • TP600 Sketch 1 • TP601 Sketch 2 • TP602 Sketch 3 • TP700 External view 1 • TP701 External view 2 • TP702 External view 3 • TP703 External view 4 • TP704 External view 5 • TP705 External view 6 	
<i>Whole Site Oculus</i>	
<ul style="list-style-type: none"> • LP00 Cover Sheet • LP01 Ground Floor Plan • LP02 Landscape Character Plan • LP03 Grading Plan 	Oculus
<i>Visual Amenity Analysis Orbit</i>	
<ul style="list-style-type: none"> • Figure ii Camera location • Figure 1 Punt Road hill looking north • Figure 1.1 Punt Road hill looking north • Figure 1.2 Punt Road hill looking north • Figure 2 Morrel Bridge looking east • Figure 2.1 Morrel Bridge looking east • Figure 2.2 Morrel Bridge looking east • Figure 3 Balmain Street looking west • Figure 3.1 Balmain Street looking west • Figure 3.2 Balmain Street looking west • Figure 4 Alexandra Avenue looking north • Figure 4.1 Alexandra Avenue looking north • Figure 4.2 Alexandra Avenue looking north 	Orbit
<i>Historical archaeology</i>	
Richmond Maltings Desktop Historical Archaeological Assessment (September 2015), attached as Appendix F	Green Heritage
<i>Reasonable and economic use report</i>	
Independent Report on Economics of Development (November 2016), attached as Appendix E	Roger Gibbins, of SC Lennon & Associates
<i>Methodology for works</i>	
The Richmond Maltings Redevelopment: Alterations to Existing Heritage Elements (June 2016), attached as Appendix G	Irwin Consult

The level of detail provided in the plans varies. In the case of the Stage 1 works, inclusive of the proposed adaptation and reuse of former malt stores B4 and B5, the plans have been fully developed such that the proposed works are described in detail. In the case of the Stage 2 works the plans are at a

conceptual design stage and define the building envelopes and heights, but do not include detail of façade treatments or floor plate layouts. It is anticipated that such detail would be provided as a condition of permit.

1.4 Appendices to this report

Various appendices are attached to this report as listed in the table of contents. The VHR citations for both heritage places are attached at Appendices A and B respectively. The building numbers cited here (B1, B2, etc.) match those in the VHR citation for Richmond Maltings (Figure 3).

The photographs of buildings and elements included in this report and in Appendices C and D are by Lovell Chen, unless otherwise stated, and have been taken over a long period. In recent times, access to the buildings is generally more restricted, and hence some older images are included.

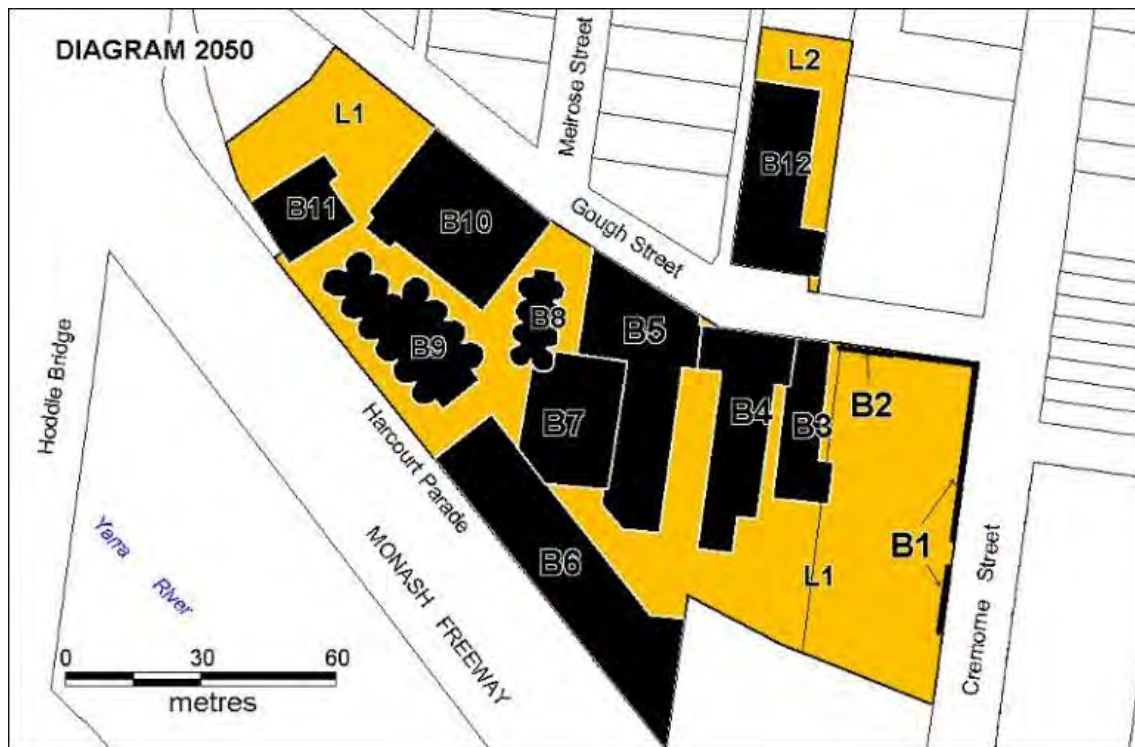


Figure 3 Heritage Victoria extent of registration
Source: Victorian Heritage Database

1.5 Conservation Management Plan

Reference is also made to the *Richmond Maltings Complex, Gough Street, Richmond: Conservation Management Plan* (Lovell Chen, October 2005). The CMP includes a history of the site, descriptions and histories of the individual buildings and site components, an analysis and assessment of significance, and policies relating to the site overall as well as individual buildings.

1.6 Heritage listings

1.6.1 Victorian Heritage Register

Richmond Maltings

Richmond Maltings is included in the Victorian Heritage Register (VHR) maintained by the Victorian Heritage Council (VHR 2050), as a 'heritage place' and an 'archaeological place'. The VHR statement of significance notes that the place is historically, scientifically (technologically), aesthetically, socially and archaeologically significant to the State of Victoria for the following reasons:

Why is it significant

The Barrett Burston Richmond Maltings site is historically significant as the oldest surviving independent sale (as opposed to brewing) maltster site in Australia. It has been continuously associated with the brewing and malting industry since 1852. It is the earliest and most intact of the four remaining nineteenth century sale maltster sites still operating in Victoria, the others being the former James Hood & Co site, Islington Street, Collingwood (1878), the Barrett Burston Gibdon Street site, Burnley (1892), and Joe White Maltings, Gregory Street site, Ballarat (1898).

The site is historically important for its strong associations with significant malting companies such as Smith, Mitchell & Co, which developed and operated the site between 1912 and 1972, and Barrett Burston, one of the largest malting companies in Australia. The site is of historical interest for its association with Charles Smith, who was involved in the site until his death in 1903. Smith, one of the earliest sale maltsters in Victoria, was Mayor of Richmond 1873-74 and Lord Mayor for Melbourne 1883-84, and was a member of the Legislative Assembly.

The Barrett Burston Richmond Maltings site is scientifically (technologically) significant for its pivotal role in understanding the industrial production of malt both by the pneumatic and the floor processes. The 1880 malt house is the only nineteenth century pneumatic malt house surviving in Australia, and is of outstanding technological significance as one of the earliest pneumatic malt houses in the world. While the building was substantially re-modelled following fires in 1950 and again in 1965, the existing mechanised Saladin box process with two parallel germinating boxes and perforated floors is very similar to the original Galland box process described in the opening of the malt house in 1880.

The 1920 malt house, with its low floor to ceiling height of 9 feet, a large open concrete floor, with open store room above, and timber louvred windows set opposite each other in the side walls to control air flow, is scientifically (technologically) important for its demonstration of many of the essential characteristics of a traditional floor maltings. While once relatively common in Victoria, with many having been demolished and others adapted to pneumatic malting systems from the 1930s onwards, or adapted to alternative uses, it now represents a very rare surviving example of its type.

The 1952 pneumatic drum malting building, originally built with six drums imported from the United Kingdom, later replaced by drums constructed in Victoria by Vickers Ruwolt Pty Ltd, demonstrates the earliest use of this malting technology on a sale maltster site in Victoria. The 1939-40 building for storing barley was supplemented in 1952 by 11 concreted silos, which represent an early surviving example of this form of barley storage system on a sale maltster site in Victoria with only the 1937 silos in Abinger Street Richmond (now converted to residential use) being older.

The Barrett Burston Richmond Maltings site is aesthetically and socially significant as a substantial Melbourne landmark. This collection of four brick malt houses dating from 1880, 1920, late 1939s and 1942 together with the 1952 and 1960s concrete silos present a distinctive industrial aesthetic, which has formed a significant part of the townscape of Richmond, the adjoining River Yarra and South Yarra, for many years. Three of the malt houses retain distinctive external evidence of malt kilns, a feature found on only two other remaining malt houses in Victoria. The 1952 and 1960s concrete silos by reason of their height scale and bulk visually dominate the immediate townscape, and are also viewed over a wide distance in

eastern Melbourne. Together with the Nylex Sign, which sits atop the silos, they have become a significant cultural iconic feature in the Melbourne landscape and psyche and even feature in the song *Leaps and Bounds* by musician Paul Kelly.

The Barrett Burston Richmond Maltings site is archaeologically significant not only for its visible remnants of the malt houses constructed in 1903 and 1928 but also for the potential archaeological remains of the brewing buildings of the 1852 Cremorne Brewery and 1860s malt house.

The extent of registration is as follows:

All the land marked L1 and L2 on Diagram 2050 held by the Executive Director and all the buildings and structures marked as follows on Diagram 2050 held by the Executive Director (refer Figure 3):

- B1 1928 malt house wall
- B2 1903 malt house wall
- B3 1922 and later office building
- B4 Late 1930s malt house
- B5 1880 and later malt house
- B6 1920 malt house and mid 1920s extension
- B7 1952 drum malt house
- B8 1952 concrete silos
- B9 1960-62 concrete silos
- B10 1956 and later malt house
- B11 1939-40 barley store
- B12 1942 malt house

Nylex Sign

The Nylex Sign is included in the Victorian Heritage Register (VHR) maintained by the Victorian Heritage Council (VHR 2049), as a 'heritage place'. The VHR statement of significance notes that the place is of social and historical significance to the State of Victoria for the following reasons:

Why is it significant?

The Nylex sky-sign is of historical significance as one of a collection of signs marking Victoria's industrial heritage in Richmond. Richmond has the greatest concentration of surviving sky-signs in the state. Of all the signs, which include the Skipping Girl, Victoria Bitter, Slade Knitwear and the Pelaco signs, the Nylex sign is the most prominent. These large sky-signs which used to be a prominent feature of the Melbourne skyline are increasing in rarity with the demolition of such notable signs such as Allen's at Southbank and Atlantic Ethyl and Shell Petroleum's rolling dice at St Kilda Junction. The Nylex sign is of further rarity as it the only major sky sign in Melbourne that uses such a range of lighting media.

These signs have strong associations with the industrial base of the former City of Richmond, important in the economy of Melbourne but which also contributed to the well being of the national economy. Nylex, the largest plastics manufacturer in Australia, and the first to be established (1927), grew from premises below the sign in Cremorne Street.

The Nylex sign is of social significance for its landmark qualities. The sign dominates the view along the major thoroughfares of Punt Road and Hoddle Streets and because of its location at the entrance to the South Eastern Freeway the Nylex sign is considered the unofficial gateway into Melbourne. The clock and temperature display is a constant point of reference for residents and motorists.

This recognition factor has entered the sign as a part of popular culture and has given the sign an iconic quality. Its mention in the Paul Kelly song Leaps and Bounds has given the sign an identity that extends beyond Melbourne.

The extent of registration includes all of the sky-sign known as the Nylex sign and its supporting structure marked B1 on Diagram 2049 held by the Executive Director (Figure 4).

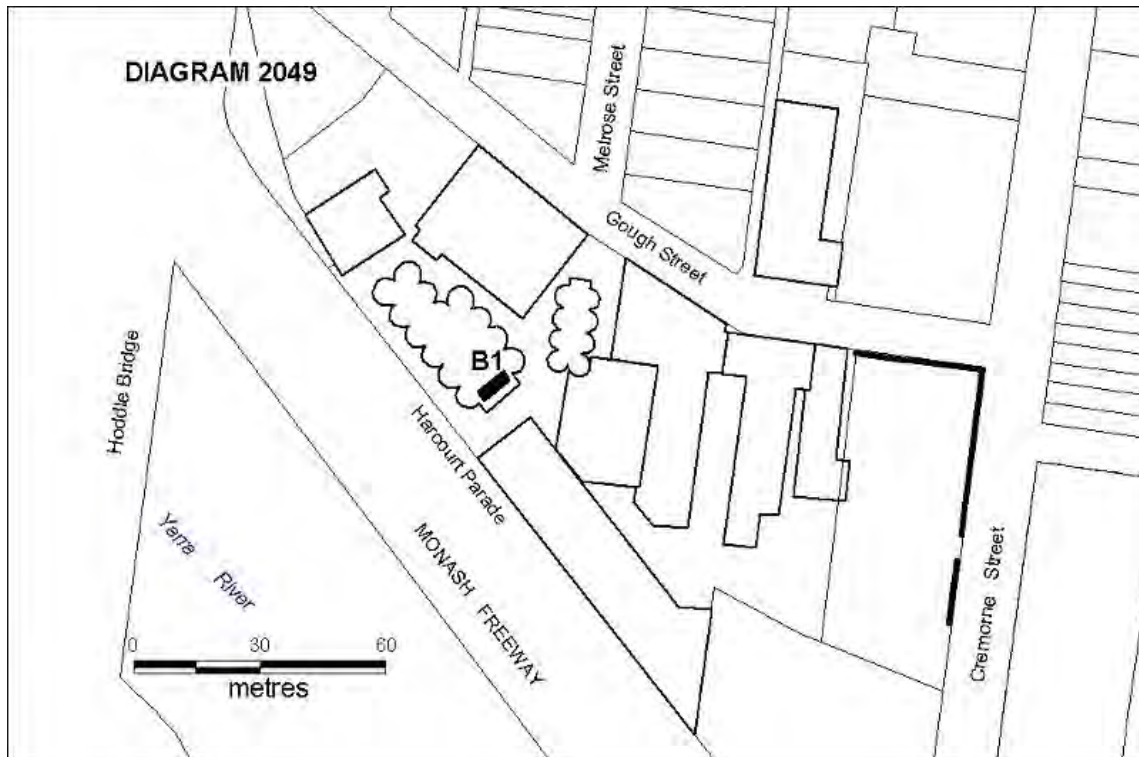


Figure 4 Heritage Victoria extent of registration (shown as B1)
Source: Victorian Heritage Database

1.6.2 Permit policy and permit exemptions

Richmond Maltings

At the time of registration the Richmond Maltings was provided with a permit policy and a suite of permit exemptions, as addressed below. This policy and the exemptions are currently the subject of an appeal before the Heritage Council to determine if they should be modified or removed. The appeal has been heard and a decision is pending.

The permit policy and permit exemptions for Richmond Maltings are as follows

PERMIT POLICY:

The list of features identified in the extent of registration contribute in a fundamental way to the understanding of the historical, technological, architectural, social and cultural significance of the site. While most of the buildings have been subsequently altered and are not intact, they retain many external and internal features that demonstrate the function of the buildings and the site.

The Barrett Burston Maltings site is an extensive complex of industrial buildings for the manufacture of malt. The buildings demonstrate the different processes used for producing malt, including traditional floor malting and pneumatic malting, using salad boxes and drums. The storage of barley and malt, important to the process of manufacture, is demonstrated by the 1939-40 storage building, 1952 and 1960s silos. The form of the buildings and surviving exterior and interior fabric and features demonstrates these various processes.

The 1920s malthouse, retains the expansive rectangular concrete germinating floor, low floor to ceiling heights, window openings with timber louvres in the side walls for controlling airflow, and an open first floor storage area, and demonstrates the floor malting process. In the 1880 malt house, the layout of parallel Saladin boxes with perforated floors, underfloor culverts and associated machinery, steeples, grain storage and kilns, illustrate the original pneumatic process. The late 1930s former pneumatic malt house retains fabric and elements that permit an understanding of the original layout, use and functions. These include the original steeples to the first floor with grain hoppers over, and grain and malt storage compartments and machinery to the top floor. The 1942 malt house, while adapted, retains fabric and elements that permit an understanding of the original layout, use and functions.

It is acknowledged that within the features identified in the extent of registration, particularly some later additions and alterations in the 1960s, that there exists scope for works, alteration and adaption to any given feature without diminishing the overall significance of the place.

While remaining in use as an operating maltings, the installation, removal and replacement of any plant and machinery to facilitate this continued use of the site would generally be supported.

PERMIT EXEMPTIONS:

General Conditions: 1. All exempted alterations are to be planned and carried out in a manner which prevents damage to the fabric of the registered place or object.

General Conditions: 2. Should it become apparent during further inspection or the carrying out of alterations that original or previously hidden or inaccessible details of the place or object are revealed which relate to the significance of the place or object, then the exemption covering such alteration shall cease and the Executive Director shall be notified as soon as possible.

General Conditions: 3. If there is a conservation policy and plan approved by the Executive Director, all works shall be in accordance with it.

General Conditions: 4. Nothing in this declaration prevents the Executive Director from amending or rescinding all or any of the permit exemptions.

General Conditions: 5. Nothing in this declaration exempts owners or their agents from the responsibility to seek relevant planning or building permits from the responsible authority where applicable.

Subject to full recording to the satisfaction of the Executive Director, the demolition of the 1922 and later office building, including the remnant of the 1903 maltings,[B3] fronting Gough Street.

Subject to the full recording to the satisfaction of the Executive Director, the demolition of the 1952 drum malting building, [B7].

Subject to the full recording to the satisfaction of the Executive Director, the demolition of the 1960-62 and later silos, [B9] fronting Harcourt Parade.

Subject to the full recording to the satisfaction of the Executive Director, and an assessment of the archaeological potential of the site of the former 1860s malt house, the demolition of the 1956 pneumatic maltings [Building 10]

Subject to full recording to the satisfaction of the Executive Director, the demolition of the remaining walls to the 1903 malt house [Building 2] fronting Gough Street

Subject to full recording to the satisfaction of the Executive Director, the demolition of the remaining walls to the 1928 malt house [Building 1] fronting Gough Street and Cremorne Street.

Minor repairs and maintenance which replaces like with like.

Repainting of previously painted surfaces

Removal of extraneous items such as external lighting, pipe work, ducting, wiring, antennae, aerials etc, and making good

Installation or repair of damp-proofing either by injection or grouted pocket method

The repair patching and replacement of existing roadways, carriageways, tracks and path surfacing and associated kerbing with new bitumen or concrete paving

The repair and replacement of all underground surfaces

Interior

Subject to full recording to the satisfaction of the Executive Director, in the late 1930s former pneumatic malt house [Building 4], the removal of the partitions to the ground floor workshop, and the removal of the laboratory area and staff amenities room to the first floor.

The removal of non-original stud partition walls, suspended ceilings or non-original wall linings, doors, windows, bathroom partitions and tiling, sanitary and kitchen fixtures, fittings and equipment, lights, built-in cupboards, cubicle partitions, computer and office fitout and the like.

Refurbishment of existing bathrooms, toilets and kitchens, including installation of sanitary fixtures and associated piping, mirrors, walls and floor finishes.

Installation, removal or replacements of hot water systems, either internal or external.

Installation, removal or replacement of heating or air conditioning systems, electrical wiring systems and computer ducting, and all fire, electrical and hydraulic systems including but not limited to emergency lighting, sprinklers and hydrant systems to the former 1942 malt house, now office building. [Building 12]

The permit policy for Richmond Maltings acknowledges that the site is an extensive complex of industrial buildings, which demonstrate different processes in the manufacture of malt. The policy also recognises there is scope to undertake works within the site, including alteration 'to any given feature', without necessarily diminishing the overall significance of the heritage place. This is also recognised in the permit exemptions which allow for demolition and removal of some buildings and elements.

Nylex sign

The permit policy and permit exemptions for the Nylex Sign are as follows:

PERMIT POLICY:

The purpose of the permit exemptions is to allow works that do not impact on the significance of the heritage place to occur without the need for a permit. The significance of the Nylex sign lies predominantly in its location and position.

Any Alterations that impact on the significant built fabric of the sign, its structure and its position and location will require a permit.

PERMIT EXEMPTIONS:

General Conditions: 1. All exempted alterations are to be planned and carried out in a manner which prevents damage to the fabric of the registered place or object.

General Conditions: 2. Should it become apparent during further inspection or the carrying out of alterations that original or previously hidden or inaccessible details of the place or object are revealed which relate to the significance of the place or object, then the exemption covering such alteration shall cease and the Executive Director shall be notified as soon as possible.

General Conditions: 3. If there is a conservation policy and plan approved by the Executive Director, all works shall be in accordance with it.

General Conditions: 4. Nothing in this declaration prevents the Executive Director from amending or rescinding all or any of the permit exemptions.

General Conditions: 5. Nothing in this declaration exempts owners or their agents from the responsibility to seek relevant planning or building permits from the responsible authority where applicable.

Minor repairs and maintenance which replace like with like.

Replacement and repair of power supply and electrical circuitry.

Replacement of light globes.

Maintenance and repair of Neon tubing

Maintenance and repair of the metal lettering

Maintenance and repair of support structure

The permit policy and exemptions for the sign is effectively one which addresses minor repairs and regular maintenance.

1.7 Previous approvals

In June 2007 Heritage Victoria Permit issued permit P11806, for a range of works and development at Richmond Maltings. Lovell Chen prepared the Heritage Impacts Statement (May 2007), which accompanied the application to Heritage Victoria. The permitted works included conservation and adaptive reuse of existing buildings, but did not propose any major new development. As with the

current application the works were to be staged and the 2007 permit addressed the first stage of a projected multistage project.

The permitted works, as relevant to the current application, included:

- Demolition of buildings B7 and B10 and the majority of building B3
- Demolition of the bay to the rear (south) of building B4, and refurbishment/adaptation of building B4 for office use
- Alterations to the front facade of building B5
- Removal of non-original accretions to buildings, skillion attachments, gantries, bridges, sheds and secondary structures across the site
- Limited removal of original fabric in remaining buildings

In 2012, another permit was issued, P11839, for a similar range of works. This permit also approved landscaping to the Richmond Maltings site, with new landscaping in the centre and western areas of the site. The landscaping included bluestone paving, gravelled surfaces, recycled timber seating, stone stepping, and remnant industrial elements retained amidst new tree plantings and concrete garden planters. The May 2007 Heritage Impacts Statement was submitted with the 2012 permit application, and was endorsed by Heritage Victoria under P11839.

In addressing this application, it is apparent that aspects of the previously approved works of 2007 and 2012 are largely consistent with the current proposal, including the demolition of buildings B7 and B10; refurbishment/adaptation of building B4 (in part) for office use; works to the north side and facade of building B5; removal of non-original accretions to buildings, together with skillion attachments, gantries, bridges, sheds and secondary structures across the site; and limited removal of original fabric in remaining buildings.

1.8 Yarra Planning Scheme

Development of the Richmond Maltings site is subject to planning approval under the provisions of the Yarra Planning Scheme.

1.8.1 Heritage Overlay

Richmond Maltings and the Nylex Sign are included as HO350 in the Schedule to the Heritage Overlay of the Yarra Planning Scheme (Figure 5). Pursuant to Clause 43.01 of the planning scheme no permit is required under the Heritage Overlay for development of heritage places included in the VHR.

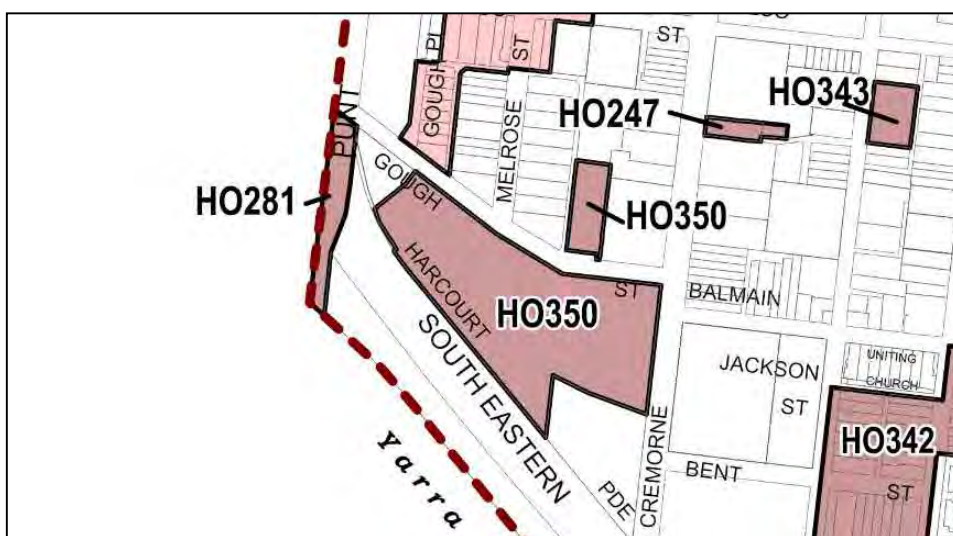


Figure 5 Extract of the Yarra Heritage Overlay map showing the extent of HO350
Source: Yarra Planning Scheme, Planning Scheme Online

1.8.2 Comprehensive Development Zone Schedule 3

Richmond Maltings is also zoned Comprehensive Development Zone Schedule 3 (CDZ3), and is subject to a Yarra Planning Scheme incorporated document entitled ‘Planning and Design Principles for the Richmond Maltings Site, Cremorne, November 2007’. The document comprises a plan showing building envelopes, building heights, setback dimensions, pedestrian access/circulation, public plazas, and a set of planning and design principles for the site. For the east and west ends of the site, the plan shows a maximum building height of RL 38.0, however a permit can be granted to vary this height.

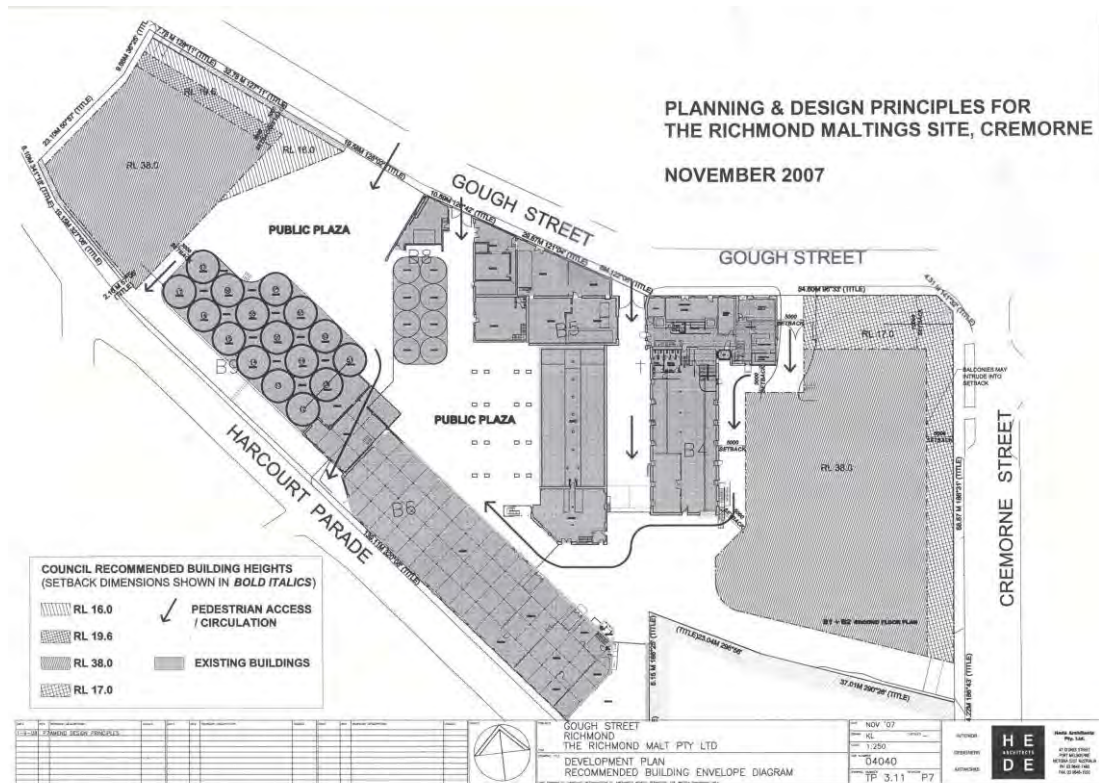


Figure 6 Development Plan recommended Building Envelope Diagram
Source: Yarra Planning Scheme, Schedule 3 to the Comprehensive Development Zone

As relevant to consideration of the proposed redevelopment at a local level, the purposes of the CDZ3 include the following:

- To allow a comprehensively staged, mixed use development on the site which will create activity during the day and evening and generate local employment opportunities.
- To conserve and enhance key heritage buildings through refurbishment and reuse.
- To retain the visual dominance and preservation of views of the landmark Nylex sign and associated silos through the sensitive siting of new building envelopes on the site.
- To ensure a high quality architectural response to the site that acknowledges and is respectful of the scale and form of buildings within the site and its immediate environs.

The ‘planning and design principles’ within the incorporated document, also include a number of principles which are directly relevant to the consideration of heritage at a local level, as follows:

- Conserve and enhance the key heritage features of the site which depict the various stages of the malting process since the late 19th Century.
- Provide opportunities for interpretation and appreciation of the cultural heritage attributes of the site which are to be retained.

- Maintain a low rise edge to the Gough Street residential interface to the north.
- Provide tall development at the eastern end of the site consistent with the built forms adjacent to the east.
- Retain the visual prominence and landmark qualities of the Nylex sign and clock and the 1960's silos which support this heritage feature.
- Reinforce the landmark qualities and heritage attributes of the site in the design of new buildings and works.
- Widen footpath and provide street planting adjacent to roads. Refer to landscape drawing for details.
- Provide an appropriate stepped built form along the Gough Street frontage.

At a local level the Comprehensive Development Zone and the guiding principles recognize the need for and also provide for, the redevelopment of this former industrial site. With regard to delivery of a heritage outcome the expectation is that heritage buildings will be retained and adapted for new uses, but also that new development will occur. The anticipated siting for such new development is to the east of the central core of former malt houses and silos.

With regard to the height of new development the design principles identify a preferred maximum height at RL 38.0, or approximately 12 residential storeys, with lower scale development on the frontages to Cremorne and Gough Streets. In considering height, both the purpose of the CDZ and the principles document identify the importance of the landmark qualities of the 1960s silos and the Nylex Sign.

1.9 Stage 1 VCAT and Heritage Council determinations

After refusal, by the City of Yarra, of the planning permit application for Stage 1 as a stand-alone project, the application was appealed to the Victorian Civil and Administrative Tribunal (VCAT). The proposal was ultimately approved by VCAT in a modified form. This application contains the amended scheme for Stage 1 as approved by the Tribunal.

From a physical perspective the outcome of the appeal was approval of 12 (north) and 15 (south) storey connected towers, to be constructed on the car park area of the eastern portion of the site, with a three storey podium to the Cremorne and Gough Street frontages. The approved works included demolition of the remnant malt house walls, B1 and B2, and retention of the single storey section of the former office building B3. The demolition of the single storey element at the southern end of the former malt house, B4, was also approved.

The proposed Stage 1 development was also refused by the Executive Director of Heritage Victoria and appealed to the Heritage Council. The proposal was modified prior to the appeal and the proposed towers reduced in height from 13 and 18 storeys to 13 and 16 storeys. The Heritage Council refused the appeal and confirmed the Executive Director's decision. In their decision the Heritage Council expressed concern regarding the demolition of walls B1 and B2, the substantial demolition of B3, the demolition of the single storey wing to B4 and the height, form and siting of the towers.

In the course of consideration of the Stage 1 proposal as a standalone application, concern was expressed both by the Executive Director of Heritage Victoria and the City of Yarra that consideration of the impact of the proposal could only properly occur with a whole of site application.

2.0 Proposed works¹

The proposal for the redevelopment of the former Richmond Maltings site contemplates a significant change in the physical form and presentation of the place. This change is as a consequence of the need to find a new use and the requirement for that use and the development to be viable. As is evident on related redundant industrial sites across the state, finding a reuse which balances the competing demands of conservation and viability is always challenging, and it is no more challenging than on this site.

In developing a response, three key issues were identified.

The first is the need to identify areas where development could occur such that the greater part of the heritage fabric is maintained and conserved. In this regard, while a development area already exists to the east, a similar area is proposed to be created to the west, through the demolition of buildings B10 and B11, and also part of the silos, B9. As addressed in the *Report on the Economics of Redevelopment* (Appendix E) this is critical to generating the funds to enable active conservation of the retained heritage fabric and to deliver a commercially viable outcome.

The second issue was the need to deliver an outcome which maintains the coherence of the industrial core and its aesthetics, albeit that the setting for that aesthetic changes. This has been achieved with retention and adaptation of the former malt houses, B4 and B5 and with the partial retention and adaptation of the B8 and B9 silos and the former floor maltings, B6. In the case of buildings B4, B5 and the retained parts of B6, the focus of the works is on a low key adaptation and reuse whereby large areas of the buildings are maintained such that the maltings process can be seen and interpreted.

A final issue has been that of managing the landmark qualities of the place as derived from the prominence of the Nylex Sign and the silos on which they are sited. This has been responded to with the retention and extrusion of nine of the 16 cylinders which make up the B9 silos, enabling the Nylex Sign to be re-erected in the same location, but elevated, thereby retaining its landmark status and also reinforcing the landmark presence of the silos themselves.

2.1 Mitigation

In the process of arriving at the current redevelopment proposal various design options have been explored and proposals have been lodged for approval for part redevelopment schemes. These have been informed by the policy recommendations of the CMP, the current permit policy and exemptions, the redevelopment economics and the views of the relevant statutory authorities. In arriving at preferred design outcomes consideration has also been given to the issues of avoidance and/or mitigation where heritage impacts occur, but without addressing these issues in an explicit manner. In the following assessment both factors are addressed as relevant to the proposed action. In doing so it is recognised that the redevelopment involves some loss of heritage fabric across the site, while also delivering extensive conservation works and active interpretation. This conservation and interpretation deliverable is considered to be the primary mitigating action.

As related to this issue, it is also noted that there is not necessarily an alignment of views on issues of loss between the directly relevant approval authorities, namely the Yarra City Council and Heritage Victoria. This is particularly apparent in the case of the proposed demolition of the remnant walls, B1 and B2 on Gough and Cremorne streets. While the proposed development could accommodate the retention of these walls the VCAT approved scheme requires their removal, as consistent with the City of Yarra's views. As noted below, the mitigation in this case is the undertaking of an archaeological investigation as part of the proposed works.

In further addressing these issues and describing and assessing the impact of these works, the redevelopment activities have been considered under the two stages, albeit that that both stages form the one application. In each case the assessment addresses the impact on existing buildings and structures, followed by consideration of the new works. The process includes consideration of the CMP policies as relevant to the specific action.

2.2 Stage 1 works

2.2.1 Drawing packages

For Stage 1 reference should be made to drawing packages **Stage 1 East: FKA Building** and **Stage 1 West: B4 and B5**

2.2.2 Buildings B1 and B2

Proposed works

It is proposed to demolish walls B1 and B2 to allow for the widening of the footpaths on the Cremorne and Gough street frontages (East/TP100) (Figure 7, Figure 8 & Figure 9). The works in this area also involve the removal of the car park and other sundry structures, including steel bulk loading silos located in the southern boundary of the site (Figure 10 & Figure 11). These structures have not been identified as of significance.

Description

B1 is a remnant wall along Cremorne and Gough streets, associated with a 1928 brick malt house which was demolished for a car park in the 1970s. The malt house was constructed during a period of interwar expansion on the site, and was originally of three storeys. B2 is also a remnant wall, located on Gough Street, where it was part of a brick malt house erected in 1903. It too was three storeys, and as with B1 was substantially demolished to make way for the car park.

CMP policies

The CMP identified the walls as elements of secondary significance.

CMP Policy	Comment
The wall, in its current form, could be retained but offers limited opportunities for re-use. If it is proposed to be removed, it is recommended that the wall be recorded prior to removal (see Chapter 5 for recommendations on recording). This is in recognition of its historical significance. The same policy applies to both walls.	Recognising the desire from a planning perspective to widen the footpaths and the limited potential for reuse, the proposed demolition presents as consistent with the CMP policy.

Permit policy and exemptions

Demolition of the walls, B1 and B2 is currently permit exempt.

Assessment and mitigation

The eastern area of the Richmond Maltings site is of archaeological potential. As noted in the VHR citation:

The Barrett Burston Richmond Maltings site is archaeologically significant not only for its visible remnants of the malt houses constructed in 1903 and 1928 but also for the potential archaeological remains of the brewing buildings of the 1852 Cremorne Brewery and 1860s malt house.

The proposed Stage 1 development will involve significant disturbance of the site. In anticipation of this, an archaeological report has been prepared (Appendix F). This report identifies that the site has the potential for archaeological remains, including from the earliest occupation phases, and recommends a program of archaeological investigation work in advance of the proposed construction works. The recommendations of the report, subject to Heritage Victoria endorsement, will be implemented as part of the Stage 1 works. The archaeological investigation will further inform an understanding of the history of development on the site and will assist in mitigating the minor loss arising from the demolition of the walls.



Figure 7 Gough Street frontage, east end of the site, with wall B2 in the foreground



Figure 8 Corner of Gough and Cremorne streets, with wall B1 at the left, and portion of B2 at the right.



Figure 9 Internal view of wall B2 to Gough Street



Figure 10 Internal view of east end of site, looking west: structures in the foreground are proposed for removal; B3 is at right, with the visible building component proposed for demolition



Figure 11 Internal view of east end of site, looking south towards the bulk loading silos

2.2.3 B3 (1920s office building)

Proposed works

Demolition is proposed for the rear two-storey component of Building B3, and the adjoining (on the east side) porte cochère and remnant of the west wall of the 1903 malt house (East/TP100-TP102) (Figure 12 & Figure 13). The front single-storey section to Gough Street will be retained and restored. Currently, no internal works or adaptation is proposed for B3.

Description

The B3 office building was erected in the 1920s. It is a red face brick building on an elongated rectangular plan with a tiled hipped roof, and original single-storey component to the front (north end), with double-storey additions to the rear (south end). The Gough Street elevation is in the Moderne style, and takes the form of a single-storey commercial building with no setback to the street. A remnant of the west wall of the 1903 malt house has been retained to support the first-floor room above the porte cochère on the east side of the building. The building has been used historically for both office and laboratory purposes.

CMP policies

The CMP identified the walls as elements of secondary significance.

CMP Policy	Comment
For B3, the policy recommends retention of the single-storey component to Gough Street to 'at least the south edge of the east roof gable, with preferably a further two-three metres of building to the south to allow this element to retain its three-dimensionality'. The CMP also recommends that:	The proposed works retain the single storey depth of B3, consistent with the CMP policy. A new structure is proposed to abut the east wall, rising to three levels. While not consistent with the preferred policy

<p>Any works or development proposed for the east of the building [B3] should have a degree of separation from the east façade (side setback), in the order of the width of the existing driveway. This will help to maintain some visibility of the east façade, to the extent that it is retained, from Gough Street.</p> <p>And:</p> <p>If new works (including an extension or addition) are considered for the south of the retained building [B3] component, where they abut the building they should adopt a scale and massing that ensures the retained northern single-storey element is not visually dominated. A building or extension of greater scale could be considered further south of the retained element, recognising that the Richmond Maltings site overall is one where buildings and structures of some considerable scale and height have been constructed historically...including in close proximity to buildings of lower scale.</p>	<p>approach the placement of a three storey structure in this location is consistent with the scale of buildings which previously existed on the site, albeit not abutting the office wall. The abuttal is not an action which will reduce the significance of the retained structure.</p> <p>At the south end the retained structure will abut a three storey home office building. The scale of this structure is appropriate for the setting and consistent with policy.</p>
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Permit policy and exemptions

Demolition of B3 is currently permit exempt.

Mitigation

There is no building specific mitigation proposed for this building. Recognising the former office and laboratory function will be included in the site interpretation.



Figure 12 Gough Street frontage of Richmond Maltings, east end, with part of wall B2 at left; B3 at centre; and B4 at right



Figure 13 B3: the building component to left of the blue arrow, including the porte cochere and remnant of the west wall of the 1903 malt house, are proposed for removal

2.2.4 Building 4 (1930s malt house)

Proposed works

The proposed works to Building B4 involve the demolition of the south gabled (office) bay and adaptation of the building for interpretation, office and retail use (West/HV10-13).

This building is illustrated at Figure 14 to Figure 18. The interiors are illustrated at Appendix C.

The proposed works include:

External works:

- West elevation: at ground floor level windows and fabric will be removed and new wider openings introduced, with steel-framed glazing; at first floor level some wall fabric and louvred and vented windows will be removed.
- East elevation: at ground and first floor levels, brick infill will be removed from existing openings and windows re-instated.
- North elevation: limited change is proposed, save largely for the steel vehicle roller door on the west side of the elevation, which is proposed for removal and replacement with opening to a semi-public laneway. The existing 'SMITH MITCHELL' signage above the vehicle opening will be retained.
- South elevation: the single-storey bay is proposed for removal with the gabled elevation to be made good.
- Roof: the existing form of the roof will substantially be retained, including the distinctive barrel vaulted ridge vent with former kiln roof towers behind, at the north end of the building. The roof will be re-clad with fibre cement sheet profiled to match the original detail.
- The 1950s elevated overhead bulk loading bins hopper, which connects to B5, is being retained.

- A 'slice' or 'slice through' is proposed for the southern part of B4, of 2.27 metres width. This involves the removal of internal and external fabric, including roof, effectively creating a uniform opening in the building from its east to west side, and from the ground level to the top of the building. The opening will connect with an access or through way to the east, proposed as part of the Stage 1 development. It will also connect with a similar and aligned 'slice' proposed for B5.

Internal works:

- Removal of non-original partitions and fitout at ground and first floor levels. The substation and switch room at the north end will be retained. At first floor level, the timber hoppers and concrete steeps will be retained at the south end. On the second floor, the conveyor will be retained at the south end, together with the majority of the timber partitioned barley/malt storage boxes with the catwalk over in the main part of the floor. Existing equipment at the north end of this level will also be retained in part.

Conservation works:

- Conservation works including repairs, repointing and reinstating or rebuilding brickwork.
- Removal of extraneous external items such as modern services, pipe work, conveyors and the like.
- Removal of internal non-original partitions, joinery and fitouts.
- Where machinery and equipment is retained, it will be conserved and painted in original colours.
- Salvage of demolished materials for interpretation and reuse.

Description

The B4 malt house dates from c.1936-37, and was constructed on the site of the former 1860s Cremorne malt house. It is a three-storey red face brick building on a T-shaped plan, with a pitched roof clad in corrugated iron. It comprises an elongated former 'pneumatic plant' or malting/store facilities with a substation at the north (Gough Street) end; and a small single-storey element at the south end, used as office space, which appears to be part of the original building. B4 is believed to have originally housed a pneumatic malting process, based on the Saladin box system. The north end of the building originally housed two kilns (which have been removed), with this area subsequently appropriated by a substation and switch room. The building was later adapted to accommodate offices and workshops (ground floor), offices and laboratory (first floor) and staff amenity spaces (north end of second floor).

CMP policies

The 2005 CMP identified B4 as being of primary significance, with historical, architectural and some technological (scientific) significance.

Building/policy	Comment
<p>Primary significance</p> <p>General external refurbishment is recommended, as a means of improving the presentation and appearance of this building, including the removal of later accretions.</p> <p>Where accretions are removed, the original external fabric should be made good. Bricked up or infilled original openings should also preferably be reinstated.</p> <p>The single-storey office component at the south end could be removed if necessary as part of a proposed reuse, with the south end wall made good and reconstructed.</p>	<p>The Stage 2 proposal for B4, which is to retain, adapt and conserve the building, is substantially compliant and consistent with the CMP policies and recommendations.</p>

Building/policy	Comment
<p>The substantially intact north façade to Gough Street is a very visible component of the site and should be retained in its current form. The barrel-vaulted ridge vent in the roof together with the two kiln towers to the roof should be retained.</p> <p>The building already has a number of openings, but if new openings are required they should be limited and undertaken in accordance with the recommendations on new openings included below for B5.</p> <p>Internally, the ground and first floor spaces offer the greatest opportunity for adaptation. New partitions could be introduced into these spaces. Original cement steps and timber grain hoppers at the south end of the first floor, and remnants of the kiln furnaces at the north end of the ground floor should be retained.</p> <p>The second floor retains a greater extent of early and original fabric and plant, which should be worked around in any adaptation of these spaces.</p> <p>With regard to the storage bins, it may be that a representative but still substantial example of the bins and grain elevator/conveyor system are retained in this area. The original timber partitions should also remain unlined and not be covered up; representative examples of the doors should also be retained. New partitioning and openings could also be introduced into these spaces, provided it is done with sensitivity to the existing rhythm and volume of the spaces.</p> <p>The northern section of the second floor has already been adapted for staff amenity spaces, and can be adapted again.</p> <p>Building on top of this malt house is not considered appropriate as this would obscure its form and industrial aesthetic qualities, particularly given its prominence to Gough Street.</p> <p>In the event of nearby new development on the site, the malt house should not be overwhelmed by any new building.</p>	

Permit policy and exemptions

Demolition of ground floor partitions and the removal of the laboratory area and the staff amenities room on the first floor are permit exempt works.

Design response and mitigation

Internally, the ground and first floor spaces of B4 offer opportunity for adaptation, and the proposed works to these spaces, including the introduction of partitions, will not result in adverse impacts. The second floor retains a greater extent of original fabric and plant, and accordingly the proposal for these spaces is more sensitive to the retention of heritage fabric, and maintenance of existing internal

character, including the timber partitioned barley/malt storage boxes. The overall approach to adapting this building, and introducing new uses, achieves a sensitive balance between change and insertions, retention of important internal elements and fabric, and the reuse or recycling of existing elements.

The retention of the distinctive roof to B4 is an important outcome, which will maintain its external 'malt house' form and expression. This combines positively with the overall retention of the north façade to Gough Street, and the significant industrial presentation and contribution of the building to the streetscape character. The retention of the overhead bulk loading bins hopper at the upper level which connects with B5, is also a positive outcome, albeit one which maintains evidence of a later (1950s) process. Where changes are proposed to the exterior, these are generally minimised (save for the 'slice', see below), which limits the impacts. The openings are also required to support the proposed adaptive reuse.

Regarding the proposed 'slice' through the building, it is acknowledged that this is an unorthodox approach to intervention into a heritage building. Accepting this, the 'slice' provides a number of benefits. For example, it provides dramatic views into the display zone and building interiors and, through extending from the bottom to the top of the building, will reveal aspects of the building's internal workings and complexity that are otherwise not easily understood or appreciated.

Views available from the 'slice' will reveal a display zone/display workshop, with timber hopper and timber barley stores. The 'slice' also provides access through the building, connecting with B5 (see below), and to the surrounding landscaped open space and adjoining new development.



Figure 14 B4, north elevation to Gough Street; the majority of this current form and appearance of the façade will be maintained, as will the barrel vaulted ridge vent to the roof

Somewhat counter-intuitively, the 'slice' will work to visually connect the severed parts of the historic building, creating strength in the way the two parts separate and play off each other. The greater part of this building is also retained, including its overall external form. In this way, the existing presentation of B4 will be substantially retained, notwithstanding the 'slice'.



Figure 15 Rear of B4, showing the south end gabled bay proposed for removal



Figure 16 Laneway on north of site, with B4 at right and B5 at left



Figure 17 B4, south end; the south bay (as indicated) is proposed for removal with the Stage 1 permit application; the building at right is the rear of B3



Figure 18 B4 roof with the kiln towers visible, and the south end gable at left; B3 is at right

The approach to the adaptation of Building B4 is to maximise retention of fabric and surviving evidence of the maltings operations, while accommodating new office use on all three levels. The exception to this approach is the proposed insertion of the exhibition slice through the building which is intended to expose the structure and workings of the building. The gesture is one which is supportive of the active interpretation of the place in a manner which will ensure that the awareness of the industrial workings and process is visible and exposed to all who use and move through this part of the site. The action is one which will to a degree mitigate the impact of the overall adaptive reuse in ensuring that the industrial nature of the place is emphasised and promoted.

2.2.5 New buildings

Proposed works

Stage 1 involves the construction of new buildings in the east of the site, largely on the footprint of the existing car park but extending beyond this (Figure 19 & Figure 20). The buildings will be variously linked and connected, with defined podium levels to the taller buildings, accommodating retail spaces and car parking. A two-level basement, for predominantly car parking use, will also be constructed across the development footprint.

The proposed buildings will utilise a variety of materials, including concrete and metal surfaces and trims in light and dark tones; select use of brick and timber; and glass including opaque and light and dark glazing.

A three-storey building is proposed to be constructed to the east of B4, comprising ('Soho') offices and apartments. The building will be setback from the east side of B4 by approximately 6.2 metres at the closest point.

The building in the north-east of the site, to the corner of Gough and Cremorne streets, is proposed to be 12 storeys. This building will have a broadly rectilinear footprint and massing, emphasised by a three level podium. At ground floor level, it will incorporate large retail spaces, service spaces, and vehicle ramps up and down to the car parking levels. Apartments will occupy the north and east sides of the podium levels above the ground floor. From level 3 (fourth floor) there will be a setback on the north side of approximately 10.7 metres; and setbacks of between approximately 3.5 and 5 metres on the east side, increasing at the south end of the building where it integrates with the taller building to the south. The east and west elevations of the apartment levels will be articulated, with projecting balconies. The roof of the building will accommodate an uncovered outdoor communal area.



Figure 19 The south ends of B3 and B4: the taller tower will be set off B4 by 3.9 metres at the closest point.



Figure 20 The location of the taller tower to be constructed on the site of the existing car park

The building will also incorporate an east-west covered laneway, entered off Cremorne Street, to provide access to the vehicle ramps.

In the east of site and projecting westwards to the south side of B4, a 15 storey building is proposed. This building will have a quasi-elliptical form, set above a three/four level podium. The latter will incorporate ‘Soho’ offices, retail spaces, vehicle ramps, and apartments to the west and east sides. From level 3 (fourth floor), apartments will occupy the remaining levels. The quasi-elliptical form of the building will be evident in the rounded east and west ends, and in levels 12-14 which clearly express the form. The south elevation, up to level 11, will have greater articulation, with projecting balconies and rooms. On the north side of the west end of the building, where it will be closest to the south side of B4, the setback to the heritage building will be 3.9 metres at the closest point, extending out to approximately 10 metres at the furthest point.

CMP policies

As considered in the context of the 2005 CMP the Stage 1 works are generally consistent with the relevant policies and guidelines. The policies cited below are from Chapters 3 and 4 of the CMP, for individual buildings; and from Chapter 5 for the other policies, including the site-wide policies.

Building/policy	Comment
<p>As related to new development and the interface with the malt house, B4, to the west the CMP notes:</p> <p style="padding-left: 40px;">In the event of nearby new development on the site, the malt house should not be overwhelmed by any new building. New development should also have a setback from the east façade of the building, to allow the existing albeit restricted views of this façade to be retained; a setback in the order of the existing east setback to B3 would be sufficient, although a greater</p>	<p>The proposed new three-storey building to the east side of B4 will not ‘overwhelm’ the heritage building. It will be setback from the east side of B4 by 6.2 metres at the closest point. From Gough Street, which is the principal presentation of B4 and the public domain from where the building is most appreciated, the setback to the new development to the east, and its three-storey height, will maintain the prominence</p>

<p>setback would be preferred to help reveal more of this façade.</p>	<p>of the historic malt house.</p> <p>The western end of the 15 storey tower with an elliptical massing will have proximity to the south side of B4. In this area, the north side of the new building will be setback 3.9 metres at its closest point to B4, extending out to approximately 10 metres at the furthest point (following the elliptical form). While the new building will have proximity to B4, this will occur at the rear of the malt house. It will not be a proximity which results in ‘overwhelming’ the heritage building as seen from Gough Street. The new building will also be at a considerable distance from the main northern presentation/north facade of B4, being in the order of 40-50 metres.</p>
<p>On ‘Curtilage’, the CMP includes the following policy:</p> <p>The purpose of identifying or establishing a curtilage, either around a site, an individual building, or group of buildings, is generally to:</p> <ul style="list-style-type: none"> retain an appropriate setting for the site or heritage buildings (including the valued character and nature of the existing setting); assist with managing the interface between heritage buildings and elements and possible new development (ensuring inappropriate development does not occur within the sensitive curtilage area); retain, where appropriate, views and vistas of the important facades of the heritage buildings (through keeping open space or undeveloped areas); or ensure that functional and physical relationships between buildings are retained (i.e. important spatial connections are maintained). <p>On ‘Curtilage’, the CMP also states:</p> <p>At the Richmond Maltings, it is clearly the case that this has been a very built up and densely occupied site for a considerable period, and that very little space or curtilage (other than was absolutely required) has been left between the principal buildings and the additions and accretions to the buildings. In practice, all available space has generally been occupied or appropriated, on a needs basis. Within this context, and should buildings of lesser significance be removed, there may be opportunities to ‘open up’ or introduce some space to the site, including between and around significant buildings. This could result in facades being revealed after a long period of enclosure (such as the</p>	<p>The Stage 1 works have regard for the setting and curtilage of the site, as commented on above. This includes enhancing the setting and presentation of B4, and ‘opening up’ space to its east side. Of note too is the CMP reference to the site ‘having a separate and discrete presence within the local context, and being distinct from surrounding development’. This character will be maintained by the proposal.</p>

<p>west façade of B5 should B7 be removed), and the setting of individual buildings being enhanced.</p> <p>And:</p> <p>The Richmond Maltings site overall is also very defined and contained within the property boundaries, save for some former maltings buildings on the north side of Gough Street (which have not been examined for this report). It is therefore difficult to establish or define a ‘curtilage’ area beyond the site boundaries. This has also resulted in the site having a separate and discrete presence within the local context, and being distinct from surrounding development, which is an element of its valued heritage character.</p>	
<p>The CMP also addressed ‘Significant views & vistas’:</p> <p>...the site is very visible from adjacent and nearby streets (Gough and Cremorne Streets, Harcourt Parade and Punt Road), with individual buildings having varying degrees of prominence and visibility. While it is not necessarily a visually ‘porous’ site in terms of visibility, save for its eastern (Cremorne Street) end, the buildings on the property perimeter, particularly on Gough Street and Harcourt Parade where there are virtually no street setbacks, are robust and substantial heritage buildings which are visually prominent in the immediate context and make a significant contribution to the industrial heritage character of these streets.</p>	<p>As noted above, the robust character of B4, and to its west B5, will help these historic buildings to ‘hold their own’ to Gough Street within the context of redevelopment at the eastern end of the site. The views of these buildings, along the Gough Street vista, will not be impacted or diminished.</p>
<p>On ‘New construction & development’, the CMP policy is:</p> <p>Industrial sites by their very nature are often densely built-up and contain reasonably substantial buildings. With regard to new development, it would not be inappropriate from a heritage perspective to have a reasonably dense grain and substantial new buildings introduced to this site, subject to the policies included here...new development should also not impinge upon opportunities to improve the setting of the most significant buildings and elements.</p> <p>There is also an opportunity to introduce new works of some scale and height, given the scale of structures introduced historically (such as the two silos buildings, and the 1956 malt house on Gough Street), and current character of the site. It is recommended, however, that new development of height should preferably be located at the western or eastern ends of the site, where the visual impacts would be minimised on the lower scale heritage buildings in the centre of the site (particularly B5, B4 and B6). There is also a need to</p>	<p>Without returning to the detail of the Stage 1 proposal, including the proposed new buildings (see comments above), it is considered that the proposal is generally consistent with this CMP policy.</p>

<p>have regard for protecting the landmark qualities of the 1960s silos (B9), and for new development to not obscure or hinder views of the very prominent Nylex sign.</p> <p>It is also preferable that the perimeter footprint of the site remains visible and distinct, which could be achieved through the siting of new works or as part of a landscape plan.</p> <p>In terms of fabric, form and materials of new works, it is always preferable in a heritage context to introduce elements that are clearly contemporary and able to be distinguished from the heritage buildings and fabric...The Richmond Maltings site already has a variety of materials (and textures) across the site including brick, stone, some rendered surfaces, steel and various timbers. This existing diversity allows for considerable contemporary interpretation and application of materials. Lightweight and transparent materials and forms may also be appropriate in some cases, particularly when new works are closely associated with, or integrated into, retained heritage buildings.</p>	
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Permit policy and exemptions

There are no permit exemptions applicable to these works.

Design response and mitigation

The east end of the site offers an opportunity for new development, including on the current car park where earlier malt houses have been removed. New buildings generally can be constructed here without direct physical impacts on buildings identified in the 2005 CMP as elements of primary significance; or requiring the removal of significant heritage fabric.

The east end of the site and its presentation to Cremorne Street is also not as sensitive in heritage terms as other streetscape presentations of the site, including the important northern presentation to Gough Street. The character of the east of the site will be transformed by the new development, but this is as much an urban design consideration as it is a heritage consideration, given the lesser heritage sensitivity of this area.

B3 and B4 are the principal heritage building which interface with the new works in Stage 1. The works to these buildings have already been addressed. They will be in proximity to the new buildings in the east of the site, but will be separated from them. B4, as with B5 adjoining to the west are large robust buildings which do not rely on complementary or consistent scale relationships with other buildings for their significance or appreciation. While B4, and indeed B5, will stand in contrast to the new buildings, their materiality and robust form will assist them to 'hold their own' in the redeveloped context, an outcome which is both reasonable and acceptable within a redeveloped industrial complex.

In terms of the proposed design and materials of the new buildings, these are appropriate to the contemporary nature of the proposed buildings, and will clearly distinguish them from the heritage buildings and fabric.

Considering the above comments, the proposal to introduce large new buildings to the eastern part of the Richmond Maltings site can be supported in heritage terms, as an action that will not impact on the heritage values of the place.

Heritage Council determination

In addressing and rejecting the proposed redevelopment of the eastern end of the site as a stand-alone project the Heritage Council Permits Committee expressed concerns regarding a number of aspects of the proposal. These included the impact of the proposal on the industrial aesthetic, inadequate separation between old and new as related to B4 and the southern tower, the impact of the height, in particular as related to the southern tower, the impact on closer and more distant views into the site, the dominance of the new residential forms and the impact on the landmark status of the Nylex Sign. In forming this view the Heritage Council Permits Committee was not presented with expert evidence regarding the economic and/or reasonable use of the site, nor were they considering development on the remainder of the site.

In submitting this new proposal a number of factors which gave rise to concern for the Committee have been addressed. As related to demolition works, while demolition of Buildings B1, B2 and the single storey wing of B4 is still proposed, a larger part of Building B3 is to be retained. With regard to the separation of the new development from the east wall of B4, this has been significantly increased, thereby providing for full viewing of this wall. With regard to the new tower elements, both have been reduced by one level, with the lower tower rising to below the preferred maximum of RL38.00 identified in the design principles. While the overall design response in the forming and shaping of the towers has been retained, the reduced height and greater setback from B4 assists in managing the impact of the new work.

On the matter of views and the impact on the Nylex Sign and B9 silos, the design proposes an increase in the height of the silos and the sign to ensure that they remain dominant in both distant and closer views. As a consequence, the new towers to both the east and west will be capped well below the sign height.

Finally, this whole of site proposal is now supported by an economic and reasonable use argument which supports the level of development. In particular it demonstrates that the total area of the new works is essential in delivering a viable development project, which can also deliver active conservation of the retained heritage buildings. Accordingly, while the design revisions for Stage 1 do not address all of the concerns raised by the Permits Committee, the response is one which reflects the need to consider the development of the site as a whole and the balance of outcomes.

2.2.6 B5 1880 and later malt house

Proposed works

This building is illustrated at Figure 21 to Figure 24, with historic images at Figure 25 to Figure 27. The interiors are illustrated at Appendix C.

Proposed new uses of B5 include display zones associated with the 'slice' (see below), hospitality/restaurant use, and a café at the north end of the building, with access to a new courtyard formed by substantial removal of the northern addition. The top level of the north end of the building will have office space.

Proposed external works:

- East elevation: various works proposed including the reinstatement of many original openings, through the removal of brick infill; and dropping existing openings at ground floor level and introducing new openings, to provide access to and from the east side of the building.
- North elevation: original openings will be reinstated at first floor level. At ground floor level the 1918/19 single-storey north addition will be removed, albeit retaining the north wall to Gough Street, with new penetrations made to the wall.

- West elevation: accepting that the condition of this wall is not yet fully known, the proposal is to substantially reinstate/reconstruct the original form of the elevation, save for large openings at ground floor level. To these, sliding glass access doors will be introduced, within a frame set off from the wall. The retained internal overhead conveyor at ground floor level will extend from the elevation, as an 'awning' above the new principal entrance on this side of the building. A contemporary steel-framed opening will also be introduced at the upper level of the elevation.
- South elevation: the 1930s addition will be retained, with external works including a combination of retaining/reinstating openings, together with making new openings. Translucent corrugated Polycarbonate roofing will replace the existing roof cladding. The large steel awning on the south side, which connects with B6, will be removed.
- Roof: this dates from the 1950s; the existing form will substantially be retained, including the expressed brick vents at the north end. The zinc clad popup structure located centrally to the north end will be removed. More generally, the existing cladding will be replaced with fibre cement sheet profiled to match the original detail. A new powder coated aluminium louvred screen will also replace the corrugated steel panels visible to the north roof elevation, to screen the proposed plant area.
- The 1950s elevated overhead bulk loading bins hopper, which connects to B4, is being retained.
- As per B4, a 'slice' or 'slice through' is proposed for the southern part of the building, of 3.07 metres width, which will largely separate the 1880 and 1930s components of the building. This involves removal of internal and external fabric, including roof, effectively creating a uniform opening in the building from its east to west side, and from ground level through to the top of the building. The opening, although larger, will connect with the similar and aligned 'slice' proposed for B4.

Proposed Internal works:

- At ground floor level, the removal of the majority of the Saladin boxes, albeit a component of 4.12 metres depth will be retained at the south end, in association with the 'slice'. An overhead conveyor will be retained, as will the Saladin presses. At the north end, the steel hoppers will be removed, but the vaulted brick ceiling will be retained. On the upper levels, examples of the steeps will be maintained, again in association with the 'slice'; the timber hoppers will also be substantially retained, with the existing gangway on the east side. The kilns will be removed from the north end. Openings will be introduced into the internal walls of the brick vent shafts; the eastern shaft will accommodate a new lift.
- For the 1930s addition, the proposal is to remove most of the ground floor fabric of the building, and to open it up in part by way of a cantilever and an internal steel armature to create a covered courtyard bar area.

The following are also proposed:

- Conservation works including repairs, repointing and reinstating or rebuilding brickwork.
- Removal of extraneous external items such as modern services, pipe work, conveyors and the like.
- Removal of internal non-original partitions, joinery and fitouts.
- Where machinery and equipment is retained, it will be conserved and painted in original colours.
- Salvage of demolished materials for interpretation and reuse.

Description

B5 is an 1880 pneumatic malt house which was modified following a significant fire in the 1950s, with works including the substantial reworking of the interiors and an addition to the top of the building, including brick vents to the north end. It is a three-storey bichromatic brick building on a bluestone

plinth, with a hipped roof clad in corrugated asbestos cement. The building has a T-shape plan, comprising the 1880 elongated rectangular nave-like form with two narrow transepts at the northern end. The building has been engulfed on several sides, to varying degrees, by subsequent additions and later buildings including an altered 1918/19 single-storey addition to the north; a 1930s three-storey addition attached to the south of the 1880 building; and a 1952 pneumatic drum malt house [B7] adjacent to the west wall. On the east side is a large elevated overhead bulk loading bins hopper which connects to the adjacent 1930s malt house [B4], and is believed to date from the 1950s.

CMP policies

The 2005 CMP identified B5 as being of primary significance, with historical, architectural and technological (scientific) significance. The relevant policies are paraphrased in the table below.

B5 Building/policy	Comment
<p><i>Adaptation and reuse</i></p> <p>Evidence of the principal stages of the pneumatic maltings process be retained in any future works to, or adaptation of, the building.</p> <p>It is recognised that in seeking to accommodate a new use, there will be some loss of significant fabric and plant, although the objective should be to minimise any loss.</p> <p>A more detailed assessment of the remnant machinery and equipment throughout the building should preferably be undertaken at the time a new use or adaptation is proposed, to clarify what equipment can be retained or removed.</p> <p>A comprehensive interpretation programme should be introduced into the building.</p> <p>B5 is an evolved building and there is no suggestion that it should be reinstated to its original external form.</p> <p>The 1880s component of the building should be retained and conserved; this building should also continue to demonstrate the principal stages of the overall malting process (storage, steeping, germinating, kilns), original or early machinery and fabric associated with these stages should be retained and conserved, where possible.</p> <p>Where there is later machinery associated with some of these processes, consideration could be given to retaining select evidence of it, as being representative of later maltings technology.</p> <p>Extraneous piping, minor equipment, electrical conduits, etc can be removed, although too much ‘tidying up’ should be avoided, to ensure the industrial character of the building is retained.</p> <p>The additions at the north and south ends of the building provide opportunities for adaptation.</p> <p>Retention of part of the significant maltings equipment and plant may be an option (such as retention of one of the two</p>	<p>The proposal for B5, which is to retain, adapt and conserve the building, is substantially compliant and consistent with the CMP policies and recommendations.</p> <p>Regarding the recommendation for a ‘comprehensive interpretation programme’, the proposed ‘slice’ will be a significant component of this.</p> <p>The interior of the building will be recorded prior to the removal of fabric and adaptation works.</p> <p>Regarding the policy on new external openings, for the west elevation large openings are proposed at ground floor level to facilitate the new internal use. These will be concentrated in a limited area of the elevation, the majority of which will be restored/reconstructed, as required, including original openings.</p>

saladin boxes in the 1880 malt house), to facilitate a new use or function within the more difficult to adapt building spaces.

Any fabric or plant of significance removed from the building should be recorded prior to removal.

Levels within the building have been modified historically (after the 1950s fire), and this provides some opportunities for adaptation or further modification of the levels, provided the distinct internal functions of the building remain evident, and impacts on significant building fabric, form and plant are minimised.

External works

External refurbishment could include reinstatement of the west façade if B7 is demolished and the original west façade of B5 is revealed, although the condition and intactness of the facade would need to be investigated to determine if this is appropriate.

Various external conservation works are recommended (not detailed here).

Where new external penetrations or openings are required, careful consideration should be given to their desirability and necessity, and to the details of finishes which generally should aim to emulate the original design but which should be distinguishable from the original.

Preferred strategies from a conservation perspective for new openings in external walls, in the order of most desirable to least, are as follows:

- Re-use existing openings.
- Reconstruct original window/door openings, i.e. remove later masonry infill.
- Increase the size of existing openings (in a manner that is sensitive to the appearance of the wall and opening).
- Create limited new openings (in a manner that is sensitive to the appearance of the wall and rhythm of other openings). New openings should be set as far as possible within existing brick panels or bays so as to obviate the need to demolish piers.

Generally, building on top of the malt house is not considered appropriate as this would obscure its form and industrial aesthetic qualities.

Additions

The 1930s south addition should preferably be retained, and offers greater scope for internal adaptation and conversion than does the 1880s malt house component.

The 1918/19 north addition can be retained or removed, although the remnant kiln is of interest and if removed

should be recorded prior to removal. New openings could be made in the north elevation of the addition, if required. If the addition is removed, then consideration could be given to reinstating the original north façade of the 1880 building in this area. If retained, the paint should be removed from the Gough Street elevation.

New Development

The malt house is located more or less in the centre of the Gough Street perimeter of the site in an area which has progressively been densely developed and built up to the height of the malt house, and beyond if considering the silos. In the event of nearby new development on the site, the malt house should not be overwhelmed by any new building which should touch it lightly, if necessary, and not extend over it.

Any new buildings should also be clearly modern and light and be conceived as a foil to the more ponderous and heavy nature of the heritage building.

New building(s) could be higher and bulkier than the malt house provided that they do not overwhelm it – the malt house needs to retain its own identity and prominence within the site.

As with any nearby new development, new elements of this nature should be clearly contemporary, and preferably of light materials so as to avoid confusion with historic fabric.

Permit policy and exemptions

There are no permit exemptions applicable to these works.

Design response and mitigation

It is recognised that internal adaptation of this building is difficult, due to the presence of significant internal fabric and remnant equipment and machinery. However, as with B4, the approach to adaptation is to balance the extent of removal and retention of fabric, and to seek to reuse or recycle elements within the adaptation. The proposal for the interior of this building is not to 'box it up', or extensively partition the spaces. Rather, the opening up of the internal volume will provide expansive views of the interior, including views of retained timber hoppers above.

As with B4, the greater part of this building will be retained, including the overall external form of the 1880 component, plus the 1930s south addition. The removal of the 1918/19 north addition will involve an element of secondary significance, albeit a substantial part of its wall to Gough Street will be retained, to provide evidence of the evolved form of B5. The proposed roof treatment of B5 is an example of where later building form is being maintained, i.e. the 1950s roof form, as evidence of the evolution of B5, although the 1950s roofing material is being replaced with more contemporary fabric.

Where changes are proposed to external openings, these are generally minimised or restricted to a localised part of the exterior, so as to limit the impacts. These changes are also mostly required for access purposes, to support the new uses of B5, including the proposed sliding glass doors to the ground floor of the west elevation. However, the majority of the remainder of this elevation will be treated with sympathy, with considerable works proposed to reinstate and reconstruct its overall original form.

The revealing of the original west elevation, which has been concealed for many decades by adjoining development, including the 1952 pneumatic drum malt house [B7], is a particularly important outcome of the Stage 2 works.

The retention of the existing overhead bulk loading bins hopper which connects with B4, is also a positive outcome.

Overall, the contribution of this building to Gough Street will be maintained, and importantly enhanced through the proposed conservation and restoration works.

As with B4, the proposed 'slice' through the building is an unorthodox action, but again the 'slice' provides benefits in enabling dramatic views into the interiors. Especially with the 1880 building, the 'slice' will reveal elements of the Saladin boxes and their associated machinery at ground floor level, and retained steeping tanks through to timber hoppers at the upper levels. The view to the south from within the 'slice', will be into the severed 1930s addition, which will have open walls at ground floor level, and void space above, albeit the latter will contain the proposed new internal truss structure associated with the cantilever works to the addition. The 'slice' through B5 will therefore provide views of the old and new, and of the internal workings of this highly significant building. It will similarly provide for access through the building to connect with B4, and to the surrounding landscaped open space, and adjoining new development.

Regarding the 1930s addition, the proposal to cut away most of the ground level fabric of the building, and to open it up by way of a cantilever, is also a dramatic approach. It differs from the more conventional approach to openings as proposed for the remainder of B5 and also B4. As an element of secondary significance, however, this building component provides greater flexibility for the extent of change proposed. Accepting that, the external appearance of the building will substantially be retained. The loss of the ground floor walls will also to a large extent be balanced by the retention of the walls above.

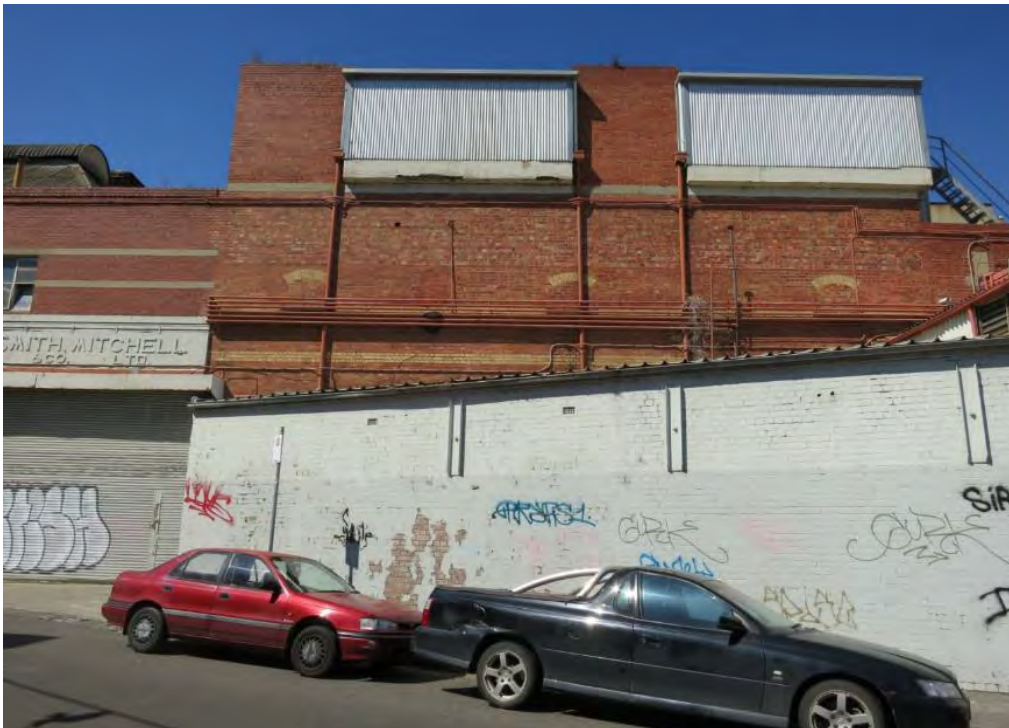


Figure 21 B5, north elevation to Gough Street; powder coated aluminium louvred screens will replace the corrugated steel panels to the north roof elevation; the painted wall to the 1918/19 north addition, in the foreground, will be retained but modified with new openings, and the paint removed



Figure 22 B5, south end, showing 1930s extension; the steel awning at left will be removed; the ground floor level walls will also be substantially removed



Figure 23 B5, east elevation



Figure 24 View to top level and roof of B5, showing part of the original 1880s bichromatic brick west elevation (indicated)



Figure 25 Richmond Maltings, as seen from the east on Cremorne Street, 1881; the (then new) 1880 malt house (B5), with its original kiln roof form, is at right
Source: *Australian Brewer's Journal*. 20 January 1919

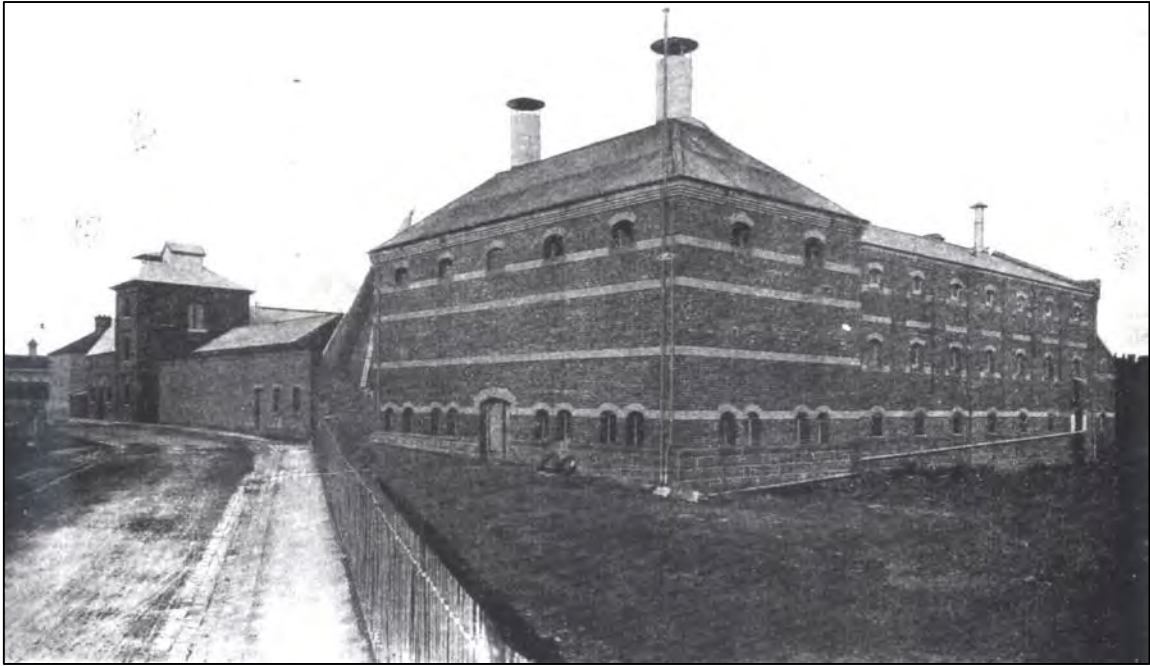


Figure 26 1903 view of Richmond Maltings, on Cremorne Street; the main building in the foreground is the 1880 malt house (B5), with its kiln roof form already modified from the original; the large west elevation at right is proposed to be revealed and restored
Source: *Australian Brewer's Journal*. 20 February 1906



Figure 27 1919 view of Richmond Maltings, on Cremorne Street, showing B5 with the (then new) 1918/19 addition in the foreground
Source: *Australian Brewer's Journal*. 20 January 1919

2.3 Stage 2 Works

2.3.1 Drawing packages

Refer to drawing packages **Stage 2 FKA Buildings including LC Conservation B6 and B8 and Oculus Whole of Site**.

2.3.2 B6 1920 malt house

This building is illustrated at Figure 29 to Figure 28.

Proposal

The proposed works to Building B6 involve the construction of an apartment tower set within and above the existing structure. The retained and reconstructed ground and first floors of the building are likely to be adapted for part commercial use with an emphasis on the interpretation of the original floor maltings.

Proposed external works:

- A combination of demolition and retention is proposed for this building, including dismantling of the centre of the building, including the central section of the north wall to enable construction of the new residential tower. On completion of the tower the north wall and roof structure will be rebuilt.
- South elevation: retention of the long elevation to Harcourt Parade, including the eastern section associated with the later addition. The existing wall will be conserved including restoration and reconstruction of the timber louvred openings.
- North elevation: removal of non-original annex at the east end. Repair and reconstruction of the retained east and west ends.
- East elevation: Infill of non-original opening.

Proposed internal works:

- The original fabric to the east and west ends will be retained and conserved. The internal fabric removed to enable the tower construction will be reconstructed as modified to accommodate a new commercial use.

Proposed new works:

- Construction of a new tower set over B6 rising to a maximum height of RL48.75 or 14 storeys.
- As presenting to the south the building will have a stepped form with steps at levels 9 and 12 (RL42.42).
- The new building will be accessed via lift and stair core located on the north face of the existing structure. On Level 1 the northern roof slope of B6 will be reconstructed in front of the south side core.

The following works are also proposed:

- Conservation works including repairs, paint removal, repointing and reinstating/rebuilding brickwork, replacement of glazing, and replacement of damaged timber elements.
- Removal of extraneous external items such as modern services, pipe work, steelwork, conveyors and the like.
- Salvage and reuse of fabric dismantled to enable construction of the proposed tower.

Description

B6 is a 1920 floor malt house, with additions to the west and east ends, the latter dating from 1928 (Figure 28). The building is a long rectilinear double-storey face brick building, with a hipped roof clad in corrugated galvanised steel, and with roof lights. It incorporates a germinating floor at ground floor level, with a 'spoon' profile, regular grid of steel stanchions supporting steel girders, and low floor to

ceiling height; and storage, baggage and sleeping areas at first floor, which is a large open-plan space with timber floorboards, and a raked timber-lined ceiling with exposed timber roof trusses. A centrally located tower addition to the roof, clad in asbestos cement sheeting, accommodates plant. The long south elevation to Harcourt Parade is substantially intact, albeit with some changes to openings, and is divided into bays by wide brick piers with each bay containing a segmental arched window at ground floor level. These retain timber louvres and shutters/security screens or grilles. Other openings have variously been bricked up or rebuilt with horizontal concrete lintels and modern steel-framed sash windows. The north, west and east elevations are partially or completely obscured by additions or later buildings. The north elevation is of similar form to the south elevation, with more or less identical fenestration, but has been more significantly modified and also partly over-painted.



Figure 28 Engraving of Richmond Maltings, late 1920s; the long linear form of B6, the 1920s floor malt house, is in the background adjacent to the Yarra River (indicated by red arrow), prior to the c. 1928 east addition and when it retained its kiln roof forms at the west end; the majority of buildings in the left half of this image were subsequently demolished and/or replaced

Source: Barrett Burston

CMP policies

The 2005 CMP identified B6 as being of primary significance, with historical, architectural and technological (scientific) significance. The relevant policies are paraphrased in the table below.

<p>The south elevation of the 1920 building component is largely intact, is a very visible component of the site, and should be retained in its current form.</p> <p>The north elevation has been altered, is in a less visible area of the site, and therefore offers greater opportunities for modification or alteration.</p> <p>The central roof tower associated with remnant bagging and modern equipment is not original and could be removed, with the roof form reinstated.</p> <p>General external refurbishment and restoration is recommended, and includes removal of later accretions,</p>	<p>The Stage 2 proposal, for part retention and development of B6, is not fully compliant with the CMP policies and recommendations.</p> <p>The extent of demolition proposed, and the construction of a new building within B6, are actions which were not anticipated in the CMP. While acknowledging the outcomes of these actions, as commented on elsewhere in this report, the proposal for this building is part of a comprehensive suite of works, which involves all the</p>
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<p>removal of paint from brick surfaces, and reinstatement of bricked up or infilled openings.</p> <p>The 1928 eastern extension should preferably be retained, but if it is removed the original east end gable of the 1920 malt house would be revealed and refurbished.</p> <p>The western addition could be removed, and the west end wall of the 1920 malt house refurbished or reinstated.</p> <p>Internally, the ground floor space is a significant aspect of the building, and if adaptation is proposed, a substantial proportion of the open space and existing fabric and form of this level should be retained.</p> <p>The non-original partitions at the east end of the ground floor can be removed.</p> <p>The first floor retains remnants of the original timber storage partitioning at the western end and a remnant bagging area located centrally. New vertical partitioning could be introduced at this level; retention of the existing open plan is not as important here as on the ground floor. If the remnant partitioning and bagging are proposed to be removed, then these elements should first be recorded. Modern plant located at this level can also be removed.</p> <p>Building on top of this malt house is not considered appropriate as this would obscure its form and industrial aesthetic qualities, particularly the important presentation to Harcourt Parade. In the event of nearby new development on the site, the malt house should not be overwhelmed by any new building.</p>	<p>heritage buildings, and which seeks a balanced overall outcome for the site.</p> <p>In regard to external refurbishment and restoration, this will occur for the retained component of the building. The south elevation will also be retained with the proposal. A substantial proportion of the ground and first floor interiors will similarly be maintained, through retention of the east and west ends.</p> <p>The exterior and interior of the building will be recorded prior to the removal of fabric and new construction works.</p>
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Permit policy and exemptions

There are no permit exemptions applicable to these works.

Design response and mitigation

The proposal for B6 represents a substantial change and intervention into the building. Effectively, a large area of the building is proposed for dismantling and partial rebuilding. It is also the case that the most visible component of the building, the long south elevation to Harcourt Parade is retained intact.

The south elevation is a highly visible element of the Richmond Maltings site, and an important contributor to the Harcourt Parade and freeway on-ramp streetscape. Importantly, in retaining the elevation, this component of the defining character of the Richmond Maltings site, as viewed by thousands of passing motorists each week, will be maintained.

On the north side the central two thirds of the north wall will be demolished to enable construction of the tower over, with the east and west ends retained intact. It is anticipated that the north wall will be reconstructed in part and that on completion, the original east-west extent of this wall will be legible from within the site. This legibility will be reinforced by the reconstruction of the northern slope of the roof.

Internally the expectation is that the east and west ends of the building will be retained and adapted for a new commercial use, albeit with a focus on retention of the original fabric to assist with interpretation. The rebuilt central section would be integrated into the south side core of the new apartment building.

The proposal for B6 differs substantially from B4 and B5 in terms of the extent of building form and fabric being retained, and the degree of intervention with a new building. For the other malt houses, very substantial retention and generally limited adaptation is proposed. For B6, greater intervention is proposed, including more intensive new development and building height.

The new building component will contrast in scale, form and materials with the retained floor malt house. There will be a clear distinction between the old and the new, and an obvious division within the building. The change in height to the new building is not one of transition, but rather a more dramatic scaling up to the remainder of the proposed tower development in the west of the site.

The loss of the later western addition to B6 will not have a heritage impact.

The proposed conservation works to the retained components of the building will enhance its presentation and appearance within the redeveloped site, and importantly also to Harcourt Parade, the building's most publicly visible elevation.

Addressing mitigating actions the proposed works to B6 need to be considered in the context of the site as a whole. The focus of wholesale conservation works across the site is on B4 and B5, in which the adaptive reuse is about revealing and telling the story of the site. In the case of B6 a greater level of intervention is proposed, but equally with elements of the building retained and conserved for interpretation purposes. Mitigation of the losses arising from the intervention is considered to be achieved in the delivery of active interpretation across the site and in the active conservation of retained fabric.



Figure 29 Recent aerial image of B6, with Harcourt Parade and freeway abutting; this image illustrates the constrained condition of B6, including to its north, west and east sides; the circled component indicates the approximate location of the tower above
Source: Nearmap



Figure 30 B6, south elevation to Harcourt Parade, with the wall of the 1928 east addition at right; this elevation will be retained



Figure 31 B6, western addition, showing the south elevation to Harcourt Parade; this component is proposed for demolition



Figure 32 B6, east end, showing section of north wall and roof; this building component is being retained, excluding the addition at left and the adjoining minor brick annex

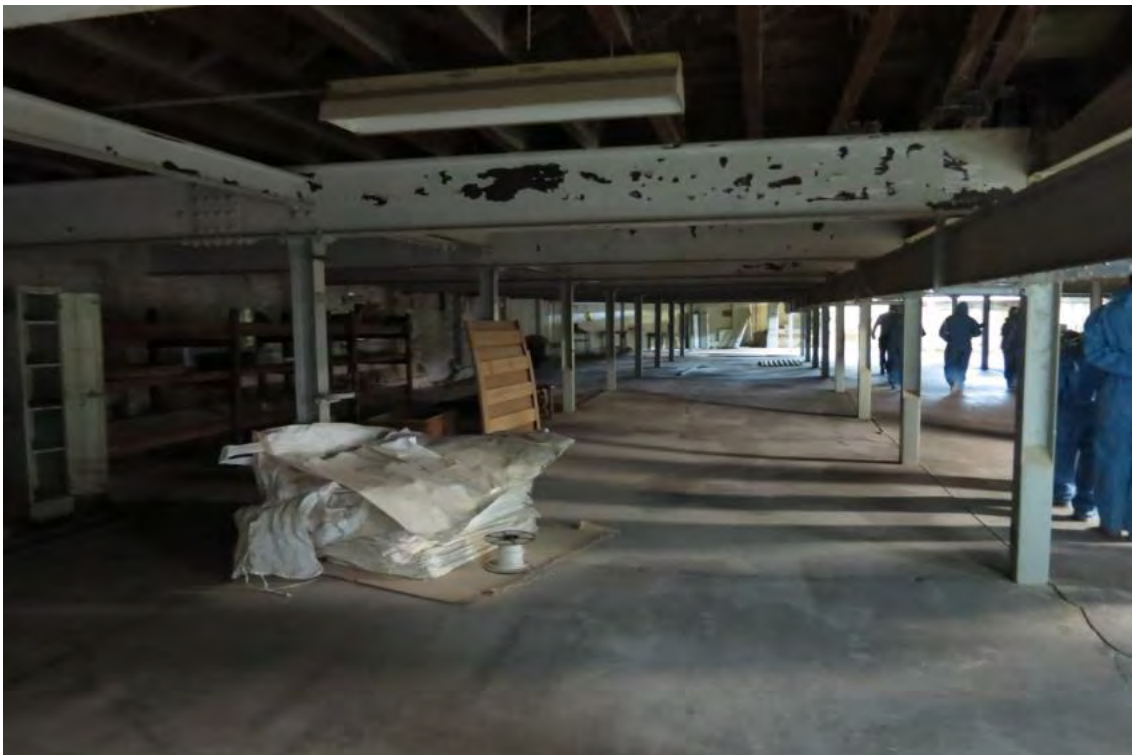


Figure 33 B6 interior, ground floor, showing concrete germinating floor with 'spoon' profile, and regular grid of steel stanchions and girders



Figure 34 B6 interior, first floor

2.3.3 B7 1952 drum malt house

Proposal

It is proposed to demolish B7, an action which will facilitate the proposed reinstatement/reconstruction works to the west side of B5, and new landscaping in this area.

Description

B7 is a drum malt house constructed in 1952, from which the roof has substantially been removed. The form of the building's exterior is difficult to discern, as it is enclosed on all sides with other buildings and accretions/attachments to buildings, including B6 (south side), B5 (north and east sides), and B8 (north and west sides). The structure is rectangular in plan, with timber-framed steel-clad walls and steel-framed windows. It contains six large cylindrical germination vessels (drums), which replaced earlier pneumatic malting drums. Internally, the open-plan space has unlined walls, a concrete slab floor, and exposed steel roof trusses. There is also associated plant and machinery.

CMP policies

The 2005 CMP identified B7 as being of secondary significance, of historical and technological significance, and limited architectural interest. The relevant policies are paraphrased in the table below.

Building/policy	Comment
This building could be altered and adapted, if required, including alteration to the external fabric. Consideration should be given to retaining a remnant drum and associated equipment, as evidence of the drum malting process within this building. If the building is proposed to be removed or	The Stage 2 proposal for B7, which is to record and demolish the building, is consistent with the CMP recommendation.

demolished, it is recommended that it be recorded including the malting plant (drums) and associated machinery.

Permit policy and exemptions

Demolition of the former drum malt house is permit exempt.

Design response and mitigation

The drum malt house has in recent years largely been stripped of its roof and is in a degraded and dilapidated state. Its significance in large part derives from the drums themselves rather than the now fragmented enclosing structure. Demolition of this structure will result in a loss of understanding of this late phase in malt production and to this end it is proposed that a drum be salvaged from the building and incorporated into the landscape as part of the whole of site interpretation. As required by Heritage Victoria the site would be fully documented prior to demolition.



Figure 35 Recent aerial image of the Richmond Maltings site; the location of B7 and the drums, without the roof to the building, is indicated
Source: Nearmap



Figure 36 Interior view of the drum malt house

2.3.4 B8 1952 concrete silos

This building is illustrated at Figure 37 to Figure 39.

Proposal

The proposed new use of B8 is for commercial serviced apartments.

Proposed external works:

- Demolition of the associated elements to the north and east sides of the building.
- Retention and conservation/repair of the 'SMITH MITCHELL & CO COMPANY MALTSTERS' and 'VICTORIA BITTER' signs on the west side of the silos.
- Removal of sections of some of the concrete cylinder walls to accommodate adaption, where these sections are associated with the serviced apartment use, and introduction of new openings/windows.
- Removal of sections of wall on the west side of the grain-elevator tower to allow access to the new lift lobby in the silos.
- Replace existing AC sheeting to roof with new FC sheeting to match.
- Retain, repair and modify the walkway on the west side of the building, to access the retained signage.

Proposed internal works:

- Removal of internal walls/partitioning at the base of the building.
- Introduction of new floor levels, services and fitouts to the silos to support the new use.
- Introduction of lifts within the silo cylinders.

Proposed new works:

- Construction of new works adjacent to the silos, chiefly to the north-west and east sides of the building, with the existing silo form remaining visible and legible on the south, south-west and north-east sides.

The following are also proposed:

- Repair concrete walls as required, including removal of organic growth, repair spalling, restore and repaint window frames

Description

The B8 silos were constructed in 1952 by Smith Mitchell & Co to hold barley, and to supplement the 1939-40 barley store (B11); they were known as the No 1 silos, the first constructed on the site. B8 comprises eight reinforced concrete cylinders arranged symmetrically in two rows of four; with a rectangular grain-elevator tower at the northern end, also constructed of reinforced concrete, with small steel-framed windows. On the west side of the silos is remnant painted signage ‘SMITH MITCHELL & CO COMPANY MALTSTERS’, and a large electric ‘VICTORIA BITTER’ sign. This is accessed by a steel framed walkway. Various associated elements are located to the north and east sides of the building, including a barley cleaning and bagging off facility, grain receiving hopper and barley screening plant.

CMP policies

The 2005 CMP identified this building as being of secondary significance, of historical and technological significance, with some landmark qualities. The relevant policies are paraphrased in the table below.

Building/policy	Comment
<p>Significant fabric should be retained, including the remnant SMITH MITCHELL & CO COMPANY MALTSTERS signage.</p> <p>The silos offer limited opportunities for adaptation, but in that event it is recommended that the circular/cylinder silos form be substantially maintained and not subsumed by new fabric, so that the silo form is still able to be read.</p> <p>New openings could be considered for the cylinders, provided they are done in a sensitive manner.</p>	<p>The Stage 2 proposal for B8, which is to retain and adapt the silos, is compliant and consistent with the CMP policies and recommendations.</p>

Permit policy and exemptions

There are no permit exemptions in place.

Design response and mitigation

The proposal for B8 is to substantially retain the silos and grain-elevator tower, and to adapt the building to serviced apartment use. As silos, adaptation presents particular challenges, and these are addressed here through building around part of the exterior of B8 and connecting and integrating the new spaces into the silos via new openings. The approach maintains much of the current external form of B8, and its visibility. In fact, the visibility of the building is in part enhanced through the removal of some elements which currently adjoin the building, with B8 not being a structure which is seen in the round or with uncluttered free space surrounding it. The silos, with their distinctive cylinder form, will be substantially visible to all sides, and the top of the existing building including the grain-elevator tower will emerge cleanly from the new works. The approach is also complemented by the retention of the remnant painted ‘SMITH MITCHELL & CO COMPANY MALTSTERS’ signage and the ‘VICTORIA BITTER’ sign, and the external conservation and repair works. Overall, the proposal for B8 will maintain the industrial aesthetic qualities of the building which make an important contribution to the Gough Street streetscape, where the silos are seen as a prominent element of the site.

Internally, the adaption works will minimally impact on significant fabric. With the adaptation, the newly ‘internalised’ form of the cylinders will also remain legible within the new works. The demolition of the barley cleaning and bagging off facility, grain receiving hopper and barley screening plant on the

north and east sides of the building, will remove related elements, but elements of lesser heritage interest. Their removal will also help facilitate adaptation of the building.



Figure 37 East side of B8 silos, showing concrete cylinders and associated grain elevator tower at right



Figure 38 West view of B8 silos, with visible signage; B10 sits in front of the silos in this image.



Figure 39 Detail of signage on west side of B8

2.3.5 B9 1960-62 concrete silos

This building is illustrated at Figure 41 to Figure 45.

Proposal

It is proposed to demolish the seven westernmost cylinders of the B9 silos and to construct a new apartment tower to the west of the retained cylinders. The nine retained silo cylinders will be increased in height from RL40.20 to RL52.00. In the process the Nylex sign will be removed, placed temporarily in storage, and reinstated atop the extended silos. Retention of the nine cylinders will return the silos to the first stage of completion that existed in 1962, at which time the Nylex Sign had been erected along with other signage (refer Figure 45)

Description

The B9 silos (originally the No 2 silos, following the No 1 silos of B8) were erected in stages between 1960 and 1962 (see Figure 45). Their construction came at a time when maltsters in Victoria were erecting grain silos on their sites, reflecting the Australian Barley Board's move to supply bulk grain direct to maltsters. The B9 silos subsequently became one of the more recognisable grain storage silos in inner Melbourne, due to their prominent location. This was emphasised by their subsequent use for signage purposes, as outlined below in Section 2.5. The silos comprise sixteen concrete cylinders arranged in two rows of six, and one row of four, the latter on the north side. A rectangular grain elevator tower is located at the east end, with a passenger lift. A barley screening plant is also located to the east, adjacent to the grain elevator. A grain receiving hopper, and associated truck bay, is located on the south side, with access off Harcourt Parade. The Nylex sign is located on top of the silos.

CMP policies

The 2005 CMP identified the B9 silos as being of secondary significance, of historical and architectural interest, albeit with landmark qualities. The relevant policies are paraphrased in the table below.

<p>The silos can be retained, adapted or removed.</p> <p>With regard to the landmark qualities, the scale and height of the structure is important. Future management of the silos should seek to retain aspects of their landmark values. This could be achieved through retention of a reduced</p>	<p>The proposed works to B9 are consistent with the CMP policy with regard to the partial retention of silos, but are inconsistent the policy in adding to the top, thereby also lifting the Nylex Sign.</p>
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<p>number of vertical cylinders. Alternatively, a structure of similar scale could be considered for this area of the site, particularly in relation to the need to maintain the prominence and visibility of the Nylex sign.</p> <p>The conservation and management of the sky sign requires it to be maintained in this location, at this height. The silos currently support the sign, but could be replaced by a similar supporting structure.</p>	
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Permit policy and exemptions

Demolition of the B9 silos is currently permit exempt.

Design response and mitigation

In pursuing a design approach which retains part of the B9 silos and includes their extension and adaptation the approach is one which recognises the landmark status of the silos and the Nylex Sign, while also accommodating the level of development required to deliver a viable redevelopment of the site. The approach is also one which recognises the sensitivity, at a state and local level, to the broad social significance of this structure and its function in signposting the site.

In pursuing this design it is proposed that the retained silo cylinders and the attached elevator core will be retained without external intervention, thereby ensuring that the industrial aesthetic of the structure is maintained (Figure 40). While not finalised at this time, the intention is that the interior of one or more of the cylinders will be adapted for interpretation purposes and that the cylinders as a whole will be treated as a public place and space. They will be linked to the other heritage buildings on the site in telling the maltings story and illustrating the process.

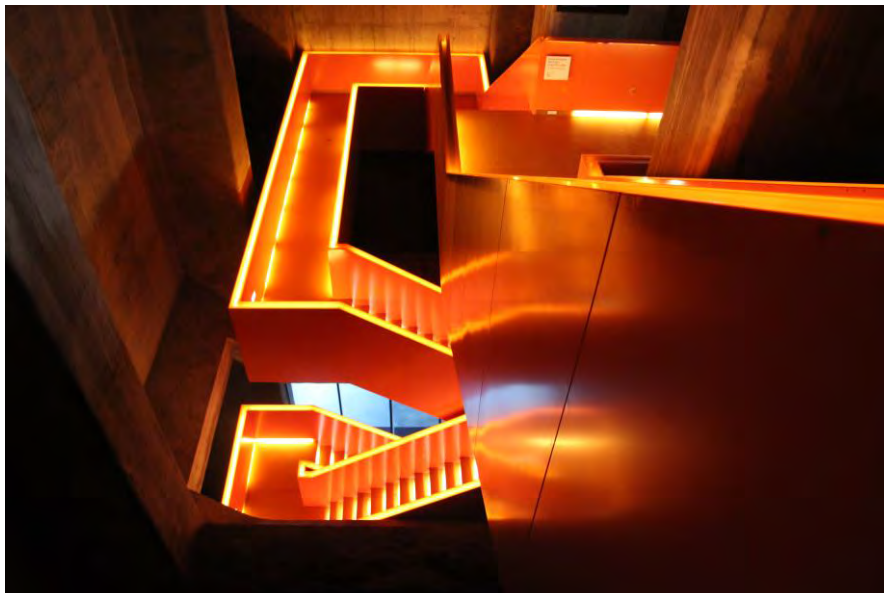


Figure 40 A main circulation stair constructed in the former coal bunkers in the World Heritage listed Zollverein Coal Museum in Essen, Germany

In delivering the development area required for a viable development outcome it is proposed to construct a taller apartment tower to the west of the retained silos. To manage the existing landmark presence of the silos it is proposed that the silo height be increased to ensure that the top of the silos and more particularly the Nylex Sign, remain the tallest elements on the site. The vertical extrusion of

the silos will exactly match their external form and be in a material which will distinguish the form from the original structure. In line with the cylinder extension the elevator structure will also be extended in height.

While an unusual response from a heritage perspective the approach is one which recognises that the significance of the silos does not reside in their fabric or construction, but in their visually distinctive form. This is even more the case in their inner urban setting where they are an unexpected reminder of the industrial past of Richmond and the Yarra River. While the extrusion will alter their presentation it will enhance their landmark presence and to a degree elevate them in their visual and social importance.



Figure 41 B9 silos, viewed from the north



Figure 42 The B9 silos as viewed from Alexandra Avenue looking north-east



Figure 43 B9, viewed from the north



Figure 44 The B9 silos as viewed from Alexandra Avenue looking north-west

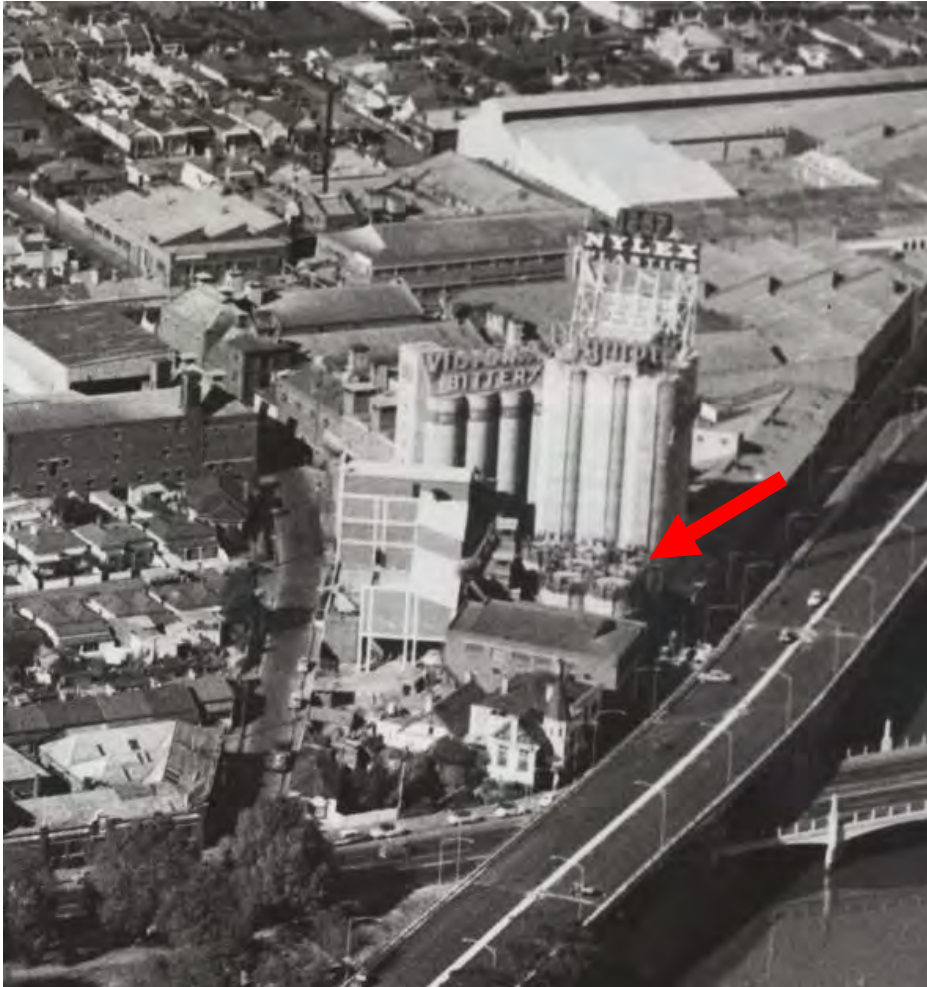


Figure 45 1962 image; the arrow indicates the footings of the yet-to-be built silo cylinders on the west side of the building
 Source: Herald & Weekly Times Collection, State Library Victoria

2.3.6 B10 1956 and later malt house

This building is illustrated at Figure 46 and Figure 47.

Proposal

It is proposed to demolish this building and associated plant.

Description

B10 dates from 1956, and was constructed as a pneumatic malt house with Saladin boxes and associated plant. Historically, the building had out-loading bins and a bulk despatch area at the west end, kilns on the south side of building, and steeping tanks and humidifier plant in the tower at the east end.

It is large building of differing heights, with elevations articulated as rectilinear concrete frames with face brick infill panels. At the north-east corner is a square five-storey tower, with bays of large rectangular metal-framed windows on the east side; the building is otherwise windowless. A large delivery dock is at the west end, with a flat roof on metal columns. Internally, the building contains Saladin boxes contemporary with the building's construction. It is one of a number of pneumatic malt houses which utilise Saladin boxes, constructed (or modified from existing malt houses) in Victoria from the 1950s. In a technological context, while of interest, the pneumatic system employed here is understood to be represented at other maltings sites.

CMP policies

The 2005 CMP identified B10 as being of secondary significance, of historical significance and architectural and technological interest. The relevant policies are paraphrased in the table below.

<p>B10 can be retained, altered or removed from the site.</p> <p>If the latter occurs, it is recommended that the building and any remnant fabric be photographed and recorded to assist with future site interpretation.</p>	<p>The Stage 2 proposal for B10, which is to record and demolish the building, is consistent with the CMP policies and recommendations.</p>
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Permit policy and exemptions

Demolition of the B10 is currently permit exempt.

Design response and mitigation

Building B10 is a purpose designed structure, the form of which reflects the malting activities which occurred therein. It is not a structure which is readily able to be reused and would require significant intervention to enable transformation to a new non-industrial use. Recognising the existence of Saladin boxes in B5, part of which is to be retained, the building does not contain evidence of the malting process which is unique within the site. Accordingly its removal is not an action which will significantly alter an understanding of the site in the production of malt.

As with all buildings to be demolished on the site it would be recorded prior to demolition and included in the site interpretation.



Figure 46 B10 malt house as viewed from Gough Street



Figure 47 The Gough Street frontage of B10

2.3.7 B11 1939-40 barley store

This building is illustrated at Figure 48 to Figure 51.

Proposal

It is proposed to demolish this building.

Description

B11 was built for barley storage purposes, in c.1939-40. The need for additional grain storage on site came about when the Australian Barley Board took over the supply and distribution of barley at the outbreak of WWII. To reduce costs associated with storing barley, the Board delivered grain direct to maltsters as soon as it was received from producers, hence the need for additional barley storage on maltings sites. There was an existing grain store on the site at this time, on the west side of B5, but it was destroyed in the 1950 fire.

B11 is a three-storey face red brick building on a square plan. It has a hipped roof with gable ends, clad in corrugated fibro-cement sheet with a low parapet on all sides. The windows, with concrete lintels, to the east and west elevations include small square steel-framed windows at first floor, and larger rectangular windows with timber louvres at second floor. The east and west elevations also have doorways with ledged-and-braced timber doors. The north elevation has limited openings, but includes a doorway at ground floor level to facilitate vehicular access to the internal space now used as a car park. The south elevation, which was rebuilt in 1997 when the building was truncated to allow for the widening of the Punt Road/Harcourt Parade junction, is windowless. Internally, the building consists of three levels of open floor space. It originally had bag storage spaces on the ground and first floors, with screening plant on the second floor. A grid of steel stanchions supports the floor structure; the timber-trussed roof is exposed at the uppermost level.

CMP policies

The 2005 CMP identified this building as being of primary significance, of historical, architectural and technological significance. The relevant policies are paraphrased in the table below.

<p>General refurbishment of the external fabric is recommended for B11.</p> <p>In the event of adaptation and/or conversion, new openings should be carefully considered in terms of visual impacts, and preferably largely confined to the less visible east elevation and non-original south elevation.</p> <p>The louvres over the large windows on the upper levels should preferably be retained.</p> <p>With regard to internal adaptation, the building offers opportunities for internal partitioning. The remnant screening equipment on the upper level should be retained in any redevelopment, as should preferably, the existing timber stairs.</p> <p>In terms of new works in the vicinity of this building, while B11 currently has considerable visibility from Punt Road, the west façade is nevertheless utilitarian and nearly identical to the east façade, and is not necessarily a principal elevation. Historically, views of the façade were also screened or restricted by the close proximity of the hotel (Sir Henry Barkly) formerly located to its west, and which predated the barley store. In this context, new works could be introduced to the western setback of the building. B11 is also currently viewed and experienced in the context of buildings of considerable scale (B9) and bulk (B10). Such a context is not particularly sensitive and allows for new works of some scale in proximity to the structure.</p>	<p>The Stage 2 proposal for the demolition of B11, is not consistent with the CMP policies and recommendations.</p> <p>As with the proposed intervention in the B6 works, the demolition of this building is part of a comprehensive suite of works across the site which seeks a balanced overall outcome.</p>
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Permit policy and exemptions

There are currently no permit exemptions in place.

Design response and mitigation

The demolition of B11 will represent a heritage loss. Historically, its construction reflected the requirement for Australian malsters to provide additional grain storage on their sites near the outbreak of WWII; and technologically, the building pre-dates the bulk handling era of barley storage on a sales maltster site. The fenestration and external door openings at different levels also flag differing internal uses, including the need for air circulation as provided by the large louvred windows. Accepting this, architecturally the building is still generally utilitarian in terms of form and fabric, and has been significantly altered at its south end. It is also the case that this building is a later addition to the site. While it is a publicly visible building, it is not one which engages the viewers' attention in the way of the older and more distinctive malt houses. Historically, views of B11 from Punt Road were also restricted by the Sir Henry Barkly Hotel, formerly located to its west, and which predated the barley store.

The demolition of this building can reasonably be balanced against the retention of B4 and B5, and part retention of B6. These are earlier buildings; they are also maltings buildings, which demonstrate distinctive maltings technologies and processes. B11 was a storage building, and one of several storage

facilities added to the site in the twentieth century. It played an important role at the site, but it does not share the rarity of the earlier malt houses, nor their level of technological significance. B8, the 1950s silos, is also being retained, and will provide evidence of the storage of barley on the site.

The demolition of B11 is also, as with the partial demolition of B9, proposed as a means of achieving a balance on the site, which enables a level of development to occur which can in turn support the conservation of the remaining retained significant buildings. This part of the site is also outside and away from the core of retained buildings in the centre of the site, and in combination with partial demolition of B9 provides an opportunity for a substantial new building. While that in itself is not necessarily justification for demolition of this particular building, in the context of the balanced actions and outcomes proposed, it can be regarded as an acceptable outcome. As with the other proposed demolitions at Richmond Maltings, B11 should be recorded prior to demolition.



Figure 48 West elevation of B11 (at right); B10 is at left



Figure 49 B11, non-original south elevation at left, and east elevation at right (as seen from Harcourt Parade)



Figure 50 B11, interior of level 1 (middle level)



Figure 51 B11, interior of level 2 (top level)

2.3.8 *New buildings*

Proposal

In addition to the new building associated with B6, described and commented on above, a new building is proposed for construction on the western part of the site, in the area of the part demolished B9 and the demolished B10 and B11 buildings. The building is set over five basement levels, which provides the bulk of the car parking required for the site. Above this it rises in a stepped composition to RL28.75 (8 storeys) on Gough Street, and then in tiers up to RL53.33 at the highest point of the roof. In large part, however, the roof sits at RL50.10 or 15 storeys. This is virtually the same height as the taller southern tower, in the Stage 1 development to the east.

With regard to use it is anticipated that the ground floor level will incorporate vehicle entry off Gough Street to the basement car park levels; the main residential lobby; bicycle parking and services associated with the residential use; and office and commercial/retail uses. The entry to the proposed Nylex Sign Café on the top of the new apartment building also will be located here.

Above ground level the floor plan is shaped in a shallow 'U' which alters to 'L shaped from level 10 to level 14. Level 15 has a greatly reduced footprint and is intended to accommodate a café/bar. All levels connect, by way of a bridge and corridor link to the retained silo cylinders.

Assessment and mitigation

The new buildings will occupy the western part of Richmond Maltings and will transform the character of this part of the site, including as viewed from the north, south and west. The new apartment tower will be a conspicuously striking building in a highly prominent location. From a heritage perspective and as impacting on the significance of the site, it is a structure which will redefine the site as one which is no longer a remnant industrial site, but one which is an adapted and reused place. More particularly, it will visually mark the site as a residential site. Like many other former industrial sites such a change is an accepted consequence of finding new uses for such places and one which can be accommodated without diminishing the significance of the place.

In arriving at this conclusion the key consideration is the scale and bulk of the building and the manner in which it interfaces with the retained heritage fabric. From a footprint perspective the new tower has a footprint which is related to the combined footprint of buildings B4 and B5. It is a footprint and plan form which is articulated on the east and west elevations by way of significant indents breaking down the overall mass. It is further articulated by the tiering of levels and setting back from the north and east. Such devices assist in breaking down the overall mass and will ensure that it does not present as an overly weighty structure.

With regard to height the response is one which recognises the fact that the built form on the site rises from the low level buildings in the centre of the site to the taller silo structures of the west. This progressive rise in height is continued in the new tower, which is set well away from the heritage core. In this regard the existing industrial character and appearance of the core, as reflected in buildings B4, B5, B6 and B8 readily will be maintained, albeit in an altered context. With the retention of part of the B9 silos the site will remain one which evidences its industrial aesthetic both in distant and closer views. The tower will represent as a further evolution in the built form, in a place where building scale has not been static or consistent. In this regard the historic malt houses do not rely on complementary or consistent scale relationships for their significance or appreciation, with the variety in building height, and form, a recognised characteristic of the property.

Accepting the above, the proposal to introduce new and large buildings to the maltings site can be supported in heritage terms, as an action that will not impact on the heritage values of the place.

2.4 Nylex Sign

The Nylex Sign is illustrated at Figure 54 to Figure 55.

Proposal

The proposal is to temporarily remove the sign from the top of the 1960s silos, transfer it to storage, and reinstate it in working order atop the extended silos. The top of the sign is currently at RL 59.3; in its relocated position it is proposed to be at RL 70.86. The Irwin Consult report, which is appended to this report (see Appendix G) includes a methodology for the removal, storage, inspection and eventual reinstatement of the sign.

Public access will also be made available to the reinstated sign, via a lift in the new apartment tower to a Nylex Sign Café on the top of the building.

As noted above, Caydon has also entered into an agreement with an energy supply company for the ongoing provision of power to the sign, and to undertake 'regular preventative maintenance' to ensure the sign remains 'functional and operational'.

Description

Various dates of construction have been cited for the Nylex sign, including the VHR citation which identifies both 1961 and 1967 as construction dates. The 2005 CMP also noted that the sign was not constructed until Moulded Plastics Australia Pty Ltd changed its name to 'Nylex' in 1967, although 'Nylex' was registered as a trademark as early as 1941. It was also used as a brand name for certain products produced by Moulded Plastics Australia Pty Ltd, before 1967, so an earlier date for a promotional sign is entirely possible.

An image from the Herald & Weekly Times, dated 1962 (Figure 45), clearly shows the Nylex sign on the silos, although the latter are only partially complete. The sign is on the eastern group of concrete cylinders; the western group are still under construction in this image. Also of interest is the presence of other large electric signs on the still partially completed silos, including on top of the silos, west of the Nylex sign. Evidently the new and highly prominent silos, at the (then) Smith Mitchell & Company Maltings, were regarded as an advertising 'opportunity'. The 1962 image also shows the first substantially completed section of the South Eastern Freeway, associated with Punt Road. *Melbourne Miles: The Story of Melbourne's Roads* (Max Lay, 2003), confirms that the first freeway section, or overpass from Punt Road to MacRobertson Bridge, opened in 1962.

This confluence of dates points to the sign being constructed in about 1962, when Moulded Plastics Australia Pty Ltd elected to take advantage of the prominence of the new concrete silos, and erected the large neon sign on top of the building. The visibility of the silos, and the sign, from the freeway would have encouraged the company in terms of the placement of the sign. A later 1960s image (Figure 52) shows the completed silos. The Nylex sign is no longer competing with another sign on the top of the building, but there are other large signs attached to the south and west sides of the silos.

It is also noted that the current lettering of 'NYLEX' in sans serif, does not match that of the original sign, as illustrated in the historic images. The 2005 CMP identifies that the 'galvanised steel trough lettering forming the work 'Nylex' was replaced c.1980'.²



Figure 52 C. late 1960s image, showing the completed silos and Nylex sign, plus other signs which have subsequently been removed/replaced
Source: State Library of Victoria

Views of the sign

Richmond Maltings is located adjacent to the Yarra River corridor, and the Monash Freeway. The open river corridor forms a major topographic division separating Cremorne on the north bank of the river, from South Yarra on the south bank. The division is amplified by Punt Road Hill which, when considered in combination with the flat land of Cremorne and the river corridor, creates a striking juxtaposition of land forms focussed on the Richmond Maltings site.

The openness of the river corridor, the elevated land on the south side (Punt Road Hill), and the relative height of the B9 silos also result in a high level of visibility to the Richmond Maltings site and the Nylex Sign, from a range of vantage points. The latter include elevated areas such as the freeway and Punt Road Hill, and some distant views along roads or across open space including the adjoining sporting parklands and Yarra River corridor.

By contrast, views of the site and of the Nylex Sign from the more densely built up areas surrounding Richmond Maltings are generally more constrained, other than those available from directly adjoining streets in Cremorne. Views of the sign are available along some streets in the surrounding area, but these are typically minor or side streets, with view corridors to the sign commonly being 'hostage' to the alignment of the streets.

The Nylex Sign is also dual-sided, and directly faces the north-west and south-east. This orientation reflects the original placement of the sign on its frame, at the east end of the silos with the frame extending across the width of the silos, between the north and south elevations.

Views of the sign vary, depending on the location, orientation and elevation of the viewer, and the distance from the sign. In the more distant views, the Nylex sign appears as an elevated object on the

horizon, often seen above intervening development and buildings. Another factor in the views is the degree to which the full, or substantially full 'NYLEX' face of the sign can clearly be seen.

There is also the matter of the social significance of the Nylex Sign, and the significance of the popular or more recognised views. In this regard, the VHR citation states:

The Nylex sign is of social significance for its landmark qualities. The sign dominates the view along the major thoroughfares of Punt Road and Hoddle Street and because of its location at the entrance to the South Eastern Freeway the Nylex sign is considered the unofficial gateway into Melbourne. The clock and temperature display is a constant point of reference for residents and motorists.

This recognition factor has entered the sign as a part of popular culture and has given the sign an iconic quality. Its mention in the Paul Kelly song Leaps and Bounds has given the sign an identity that extends beyond Melbourne.

The social significance of the sign, and its landmark qualities, therefore largely relates to its prominence in views from the river corridor, Punt Road and Hoddle Street, and the entrance to the freeway. The 'clock and temperature display' are also a point of reference, with additional iconic status imbued in the sign due to its association with the popular Paul Kelly song.

CMP policies

Refer B9 silos

Permit policy and exemptions

There are currently no permit exemptions in place.

Design response and mitigation

The Nylex sign is being retained and will also be repaired and restored to working order, with an ongoing maintenance plan put in place, and public access provided. As noted, the Heritage Victoria permit policy emphasises the importance of the 'location and position' of the sign. Its location and position is effectively maintained with this proposal, albeit the sign will be further elevated.

In heritage terms, it is important to consider if there will be any impacts associated with the increased height of the sign. As already noted, views of the sign vary depending on the location, orientation and elevation of the viewer, and the distance from the sign. A higher or more elevated sign would still be visible in the majority of existing views. In the more densely built up areas surrounding the maltings site, where views are generally more constrained, the existing views are also likely to be retained, although it is accepted that in closer proximity to the site there will be some concealment or restriction of views, given the new buildings on the site.

The VHR statement of significance identifies the sign as being of social and historical significance to the State of Victoria. The key attributes of significance can be summarised as follows:

- The sign is of historical significance as one of a collection of signs marking Victoria's industrial heritage in Richmond. Of all these signs, the Nylex sign is the most prominent.
- The sign is a rare large sky-sign, and the only major sky sign in Melbourne that uses such a range of lighting media.
- Signs such as this have strong associations with the industrial base of Richmond.
- The sign is of social significance for its landmark qualities. The sign dominates the view along the major thoroughfares of Punt Road and Hoddle Streets and because of its location at the entrance to the South Eastern Freeway, is considered the unofficial gateway into Melbourne.
- The sign is part of popular culture, has iconic qualities, and an identity that extends beyond Melbourne due to its mention in the Paul Kelly song.

In relation to these attributes, the historical significance of the sign will not be impacted, and nor will its significance as a rare large sky-sign and a major sky sign in Melbourne. The landmark qualities will be maintained, as will the association with the Paul Kelly song. Of the more significant views identified above, including the views associated with the social value of the sign, these will be maintained with the proposal.

Ultimately, the Nylex Sign is a sky sign. It will still be an elevated sign, located atop a steel frame and seen against the backdrop of the sky. It will continue to perform its original function, enhanced by its restoration and ongoing operation. The provision of public access to the sign, and to the proposed Nylex Sign Café, although a new proposal and not historically intended or part of the original role of the sign, is also a positive outcome. It recognises the social significance of the sign and in literally bringing people closer to it, the 'iconic' status of the sign – as recognised in the VHR statement of significance - is given greater recognition.



Figure 53 Silos and Nylex sign viewed from south-east



Figure 54 Nylex sign, viewed from east



Figure 55 Detail of Nylex sign

2.5 Landscaping

Proposal

The landscaped spaces include the following, with the designated use of the spaces identified in the Oculus plans:

- The existing laneway between B4 and B5 (restaurant garden)
- Open space to the west side of B5 (outdoor restaurant seating)
- Open space in the central area adjoining B4, B5 and B6 (hard and soft landscaping including terraces)
- 'Slices' through B4 and B5 (pedestrian link)
- Heritage courtyard (east side of B6)
- Central lawn
- Pedestrian link to Harcourt Parade
- Pedestrian link and site entry to Gough Street
- Other open space courtyards with lighting, sculptures and seating

The landscaping includes a combination of soft (green) and hard landscaping, including the reuse and recycling of salvaged industrial materials from the site. Materials and elements include bluestone pavers, precast and in situ concrete, recycled brick paving, select plantings, a pergola, movable vertical planters, and terraces associated with changes in levels.

CMP policies

The 2005 CMP notes in relation to landscape as follows:

<p>The preparation of a landscape plan for the subject site should have regard for the strong industrial aesthetic of the site. There is also an opportunity to integrate site interpretation into the landscaping (see below) and to recognise and emphasise the perimeter footprint (or property boundaries) through landscape treatments.</p>	<p>The landscape proposal is sympathetic to the industrial aesthetic of Richmond Maltings.</p>
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Permit policy and exemptions

There are currently no permit exemptions in place.

Design response and mitigation

The proposed landscaping has regard for the evolved industrial character of the Richmond Maltings site. While it proposes to 'green' the open spaces through the introduction of soft landscaping, this will be accompanied by the use of hard paving and surface materials, and the reuse and recycling of salvaged industrial materials from across the site, all of which will provide interest and texture to the open spaces. The laneway between B4 and B5 will be retained, and will continue to visually connect the two buildings, enhanced by the retention of the large overhead bulk loading bins hopper which physically connects the buildings.

Elsewhere across the site, the proposed landscaping distinguishes between spaces, with differing treatments depending on the proposed use of the spaces. It reflects a considered approach, and recognition of the different character areas which currently exist across the site. Importantly, the landscaping will utilise some of the newly 'freed up' spaces at the site, where buildings and elements are proposed for demolition, to create views and enhance the setting and presentation of buildings. This includes freeing up and landscaping space adjacent to the historic malt houses.

3.0 CMP policies

The 2005 CMP contains specific and detailed policies for each of the Richmond Maltings buildings. The policies reflect both the level of significance attributed to the buildings - primary or secondary – and that the buildings and elements vary considerably in terms of intactness, rarity, and retention of original, early or significant plant and equipment. The CMP generally concluded that buildings and elements of primary significance should be retained in substantially their current form, and that buildings and elements of secondary significance provide greater flexibility for alteration and/or removal.

The following table summarises and paraphrases the most relevant individual building policies, and provides a brief comment on the proposal in terms of compliance with the policies. More detailed comments on matters addressed by the policies are already included above. In some cases, policies on potential adjacent development and new buildings are also referred to, as included in the CMP.

3.1.1 Other relevant policies

The 2005 CMP includes other policies of relevance. The headings reflect the policy titles.

Retain buildings and elements of primary significance

The retention of buildings and elements of primary significance pose some constraints on how the Richmond Maltings site might be managed and/or redeveloped in the future. Provided these buildings are retained, conserved and sensitively adapted, however, there are then considerable opportunities for redeveloping the broader site. The removal of buildings and elements of lesser significance could facilitate new development. Historically, as outlined elsewhere in this report, the Richmond Maltings site is one where buildings, often substantial buildings, have been introduced and removed from the site.

Comment

The proposal generally follows this approach, although it differs in that B11, a building of primary significance, is proposed for demolition. This is commented on above, and is acknowledged to be a heritage loss. The demolition is also associated with the proposed more intensive development of this western area of the site, as commented on above. The remainder of the buildings of primary significance will generally be retained, and for the majority of these buildings they will be minimally impacted by the proposed works.

Future uses and adaptation of buildings

The functional and physical adaptation of the buildings and structures is generally supported from a heritage perspective, provided it does not diminish the identified significance of the place. Where adaptation works include alterations to individually significant areas and elements, they should be designed to have minimal physical impact on significant fabric and, where feasible, should generally be reversible.

In addition there is considerable scope for alterations and adaptation of the buildings of secondary significance.

With regard to future uses, the Richmond Maltings site offers opportunities for a range of new uses, within the physical constraints outlined above and elsewhere in this report. It is also a reasonably robust site in a diverse inner urban area, where a variety of mixed uses already exist locally. The majority of the significant buildings on site can be adapted to a range of uses, including office or commercial use, gallery or performance spaces, retail and possibly also residential...

More generally, and from a heritage perspective, it would be highly desirable if a maltings or brewing related use was retained (or reintroduced) somewhere on site,

preferably with a degree of public access. This would be consistent with the use of the site for 150 or so years, particularly in the event of the retained Richmond Maltings buildings being given over to other uses.

Comment

The proposal is generally consistent with this policy, albeit not all future uses for the retained heritage buildings and spaces have been confirmed.

Demolition

The policies for the buildings and elements of secondary significance...make provision for the removal or demolition of individual buildings. As a principal, the removal of the numerous minor later additions, accretions, overhead structures, etc, to the significant buildings is also supported. This would help to reveal some of the original form of these buildings, including in some cases original elevation treatments. It would also assist in enhancing significance through opening up, some albeit limited, views within the site.

Comment

The proposal is consistent with this policy.

Salvaged materials

It is recommended that where buildings, parts of buildings or other elements are demolished on the Richmond Maltings site, where appropriate the materials should be recycled including stone, brick, lintels, timbers, etc. Such materials can be reused where making good is required, and where openings or other elements are reinstated, etc.

Comment

The proposal is consistent with this policy. As noted above, the drawings lodged with this application which identify demolition, also indicate where salvage of demolished materials is proposed. The landscaping treatment also intends to reuse and recycle salvaged materials from across the site, to provide interest and texture to the redeveloped open spaces.

Curtilage

On 'Curtilage', the CMP includes the following policy:

The purpose of identifying or establishing a curtilage, either around a site, an individual building, or group of buildings, is generally to:

- retain an appropriate setting for the site or heritage buildings (including the valued character and nature of the existing setting);
- assist with managing the interface between heritage buildings and elements and possible new development (ensuring inappropriate development does not occur within the sensitive curtilage area);
- retain, where appropriate, views and vistas of the important facades of the heritage buildings (through keeping open space or undeveloped areas); or
- ensure that functional and physical relationships between buildings are retained (i.e. important spatial connections are maintained).

And:

Richmond Maltings...has been a very built up and densely occupied site for a considerable period, and...very little space or curtilage (other than was absolutely required) has been left between the principal buildings and the additions and accretions to the buildings. In practice, all available space has generally been occupied or appropriated, on a needs basis. Within this context, and should buildings of lesser significance be removed, there may be opportunities to 'open up' or introduce some space to the site, including between and around significant buildings. This could result in facades being revealed after a long period of enclosure (such as the west façade of B5 should B7 be removed), and the setting of individual buildings being enhanced.

With regard to retaining functional relationships on site, the spaces between B5 and B6, and B5 and B4 should not be infilled or built over, but should preferably remain open so as to retain the existing visual relationships between the buildings.

The Richmond Maltings site overall is also very defined and contained within the property boundaries, save for some former maltings buildings on the north side of Gough Street...It is therefore difficult to establish or define a 'curtilage' area beyond the site boundaries. This has also resulted in the site having a separate and discrete presence within the local context, and being distinct from surrounding development, which is an element of its valued heritage character.

Comment

The proposal is generally consistent with this policy. The spaces between B5 and B6, and B5 and B4 will not be infilled or built over, and will remain open so as to retain the visual relationships between these heritage buildings. The west elevation of B5 will also be revealed and restored.

Significant views and vistas

...the [Richmond Maltings] site is very visible from adjacent and nearby streets (Gough and Cremorne Streets, Harcourt Parade and Punt Road), with individual buildings having varying degrees of prominence and visibility. While it is not necessarily a visually 'porous' site in terms of visibility, save for its eastern (Cremorne Street) end, the buildings on the property perimeter, particularly on Gough Street and Harcourt Parade where there are virtually no street setbacks, are robust and substantial heritage buildings which are visually prominent in the immediate context and make a significant contribution to the industrial heritage character of these streets.

Comment

The proposal maintains the existing visibility of the retained heritage buildings. It also maintains and enhances the presentation of B4, B5 and B6 to the respective Gough Street and Harcourt Parade streetscapes. The robust character of B4, and to its west B5, will also help these historic buildings to 'hold their own' to Gough Street within the context of redevelopment at the site. The views of these buildings, along the Gough Street vista, will not be impacted or diminished.

New construction and development

Industrial sites by their very nature are often densely built-up and contain reasonably substantial buildings. With regard to new development, it would not be inappropriate from a heritage perspective to have a reasonably dense grain and substantial new buildings introduced to this site, subject to the policies included here. As discussed above under 'Curtilage'...new development should also not impinge upon opportunities to improve the setting of the most significant buildings and elements.

There is also an opportunity to introduce new works of some scale and height, given the scale of structures introduced historically (such as the two silos buildings, and the 1956 malt house on Gough Street), and current character of the site. It is recommended, however, that new development of height should preferably be located at the western or eastern ends of the site, where the visual impacts would be minimised on the lower scale heritage buildings in the centre of the site (particularly B5, B4 and B6). There is also a need to have regard for protecting the landmark qualities of the 1960s silos (B9), and for new development to not obscure or hinder views of the very prominent Nylex sign.

It is also preferable that the perimeter foot print of the site remains visible and distinct, which could be achieved through the siting of new works or as part of a landscape plan.

In terms of fabric, form and materials of new works, it is always preferable in a heritage context to introduce elements that are clearly contemporary and able to be distinguished from the heritage buildings and fabric...The Richmond Maltings site already has a variety of materials (and textures) across the site including brick, stone, some rendered surfaces, steel and various timbers. This existing diversity allows for considerable contemporary interpretation and application of materials. Lightweight and transparent materials and forms may also be appropriate in some cases, particularly when new works are closely associated with, or integrated into, retained heritage buildings.

Comment

The proposal is generally consistent with this policy and recommended approach to new buildings and development.

Landscape

...a landscape plan for the subject site should have regard for the strong industrial aesthetic of the site. There is also an opportunity to integrate site interpretation into the landscaping...and to recognise and emphasise the perimeter foot print (or property boundaries) through landscape treatments.

Comment

The proposal for the landscape is generally consistent with this policy and recommended approach. The landscape proposal is sympathetic to the industrial aesthetic of Richmond Maltings.

Interpretation

The Richmond Maltings site offers considerable opportunities for interpretation of the site and buildings, including remnant equipment and machinery...a form or level of public access, both into the site generally and also preferably into Building B5, would also be highly desirable from a heritage perspective, to assist with site interpretation. Interpretation of the site would be enhanced by the inclusion of photographs and artefacts. In addition, some oral history from long-time employees would greatly assist the interpretation of the maltings process, and explanation of the machinery and its functions, including more recent technology which may be retained and represented on the site.

Consideration should also be given to enhancing interpretation, and going beyond more static building and machinery interpretation per se, to incorporate landscaping and artworks into the site.

Comment

A comprehensive interpretation plan will be prepared, to be integrated with the works. The proposed 'slices' to B4 and B5 are significant actions in terms of interpretation. Building B5 will also be accessible, due to its proposed hospitality use.

Recording

It is essential that a black and white archival quality photographic record and/or a digital or video record of the site, including significant internal fabric, plant and equipment, be made before any demolition or removal of significant buildings or plant occurs. Ideally this should be undertaken in accord with the standard guidelines prepared by Heritage Victoria for such projects...A copy should also be retained and used, where appropriate, in any future site interpretation.

Comment

Comprehensive recording is proposed with the works for all buildings and elements identified for demolition.

4.0 Historical archaeology

As noted, Richmond Maltings is included in the VHR as both a 'heritage place' and an 'archaeological place'. The VHR statement of significance acknowledges the archaeological significance as follows:

The Barrett Burston Richmond Maltings site is archaeologically significant not only for its visible remnants of the malt houses constructed in 1903 and 1928 but also for the potential archaeological remains of the brewing buildings of the 1852 Cremorne Brewery and 1860s malt house.

The permit exemption for the demolition of the 1956 pneumatic maltings [B10], as already noted, is also subject to an assessment of the archaeological potential of the site of the former 1860s malt house. The requirement to undertake an assessment of the archaeological potential of the site of the 1860s building is also acknowledged in the *Richmond Maltings Desktop Historical Archaeological Assessment* (September 2015, attached as Appendix F to this report), which is submitted with this application.

To avoid confusion, it is noted that the *Historical Archaeological Assessment* report makes reference to two study areas (Study Area 1 and Study Area 2), which when combined largely cover the Stage 2 development area. These are shown in Maps 3 and 5 of the report.

With regard to the archaeology, the report concluded a very low to low level potential for the presence of archaeological remains from the earliest land use periods of the site, being pre-1849 and 1849-1866. For the periods 1866-1909 and 1909-1941, there is a moderate level potential for archaeological remains. Beyond these periods, the potential is high to very high.

Referring again to the permit exemption for the demolition of B10, and the need to undertake an assessment of the archaeological potential of the site of the former 1860s malt house (on top of which B10 is constructed), the report found (B10 is in Study Area 1):

The [1860s] malt house, kiln oven and houses were most likely demolished in the late 1950's and early 1960's. In 1956 a new malt house was built facing Gough Street. The new malt house encompassed the area of the old malt house along with the houses. Between 1960 and 1962 the concrete silos adjacent to Harcourt Parade were built in the location of the former kiln oven.

And:

The potential archaeological remains that could be clearly identified with this period would be buildings associated with the early maltings and residential development on the site. The structures from Phase 2 [1849-1866] should be

relatively straight forward to identify, given the available data from the 1896 MMBW plan. The potential presence of this material is conditional on whether later buildings on the site removed earlier structural elements. There is however a good chance that later demolition and construction events sealed rather than destroyed the foundation levels and occupational deposits of Phase 2 and Phase 3 [1866-1909]. All of the existing buildings in Study Area 1 will be demolished as part of the redevelopment. The malt house and dwellings in Study Area 1 were built by 1866 under what is currently building B9 and B10, the 1960's silos and the 1956 malt house.

And:

Should Phase 2 archaeology be present it will take the form of the remains of the early malt house, kiln, associated cess-pits and outbuildings and the two semi-detached dwellings, associated outbuildings, cesspits and gardens.

The report also concluded that if any Phase 2 archaeology is present, its significance would be very high.

On this basis, the report concluded and recommended:

This assessment has established the land use history of the study area and developed an archaeological phasing and significance framework for the site. Due to the potential presence of highly significant archaeological remains from the earliest occupation phases of the site, a suitable program of archaeological investigations should be prepared in consultation with Heritage Victoria well in advance of proposed construction works.

- Archaeological values of the VHR site Richmond Maltings H2050 should be managed through conditions of the Heritage Permit.

5.0 Reasonable and economic use

As advised, the report 'Independent Report on Economics of Development' by Roger Gibbins, of SC Lennon & Associates (November 2016), is attached as Appendix E.

The purpose of this report is to assess the impact on the reasonable or economic use of the registered place should the proposed development be refused or amended, in accordance with Section 73(1)(b) of the Heritage Act 1995.

The findings contained within the report are as follows:

5 FINDINGS

5.1 On Reasonable or Economic Use

In this section conclusions are drawn on the matters specified in the Heritage Victoria and Heritage Council of Victoria Policy Guideline (Matters to be considered in determining a permit application under Section 73(1)(b) of the Heritage Act 1995 (Adopted 1 May 2012) (Heritage Guidelines):

7. When considering section 73(1)(b) the Executive Director needs to first determine what is the reasonable use of the heritage place or registered object .

Operation of the site for sale of maltings has ceased and the plant and equipment are obsolete for this purpose. Clearly, this use is not being contemplated.

The question of what is a reasonable use going forward is influenced by the zoning and is inextricably linked to the economic use of the site. This means a balance between the intent of the zone, the conservation outcome and the commercial feasibility of redevelopment must be found. It is assumed a publicly funded use

such as an 'arts and community precinct' (e.g. Abbotsford Convent) is not possible or desirable, as this is a privately owned site and the many tens of millions of dollars that would be required are not on offer.

8. A reasonable use is to be assessed objectively having considered the particular circumstances of the proposal before the Executive Director. In forming a view the Executive Director might consider:

(1) the historic and recent uses of the place or object

The site hosts buildings of heritage significance that are vacant and in these circumstances are potentially under threat. New uses must be found and guidance on this is contained in the current zoning.

(2) other potential uses, of the place or object,

Potential uses falling under the banner 'mixed use' include residential, commercial, hospitality and retail. The highest return mix in this location is predominantly apartments with ancillary commercial, hospitality and retail. It is the apartments that provide the capital base to cross subsidise the conservation outcome.

(3) the context within which the place or object is located, and

Cremorne is an inner city transitional area, which is increasingly accommodating residential development as the highest and best use. The retail/commercial component is proposed to incorporate a supermarket, a 'gastro pub', specialty retailers (proposed cafe and bakery) and office accommodation and these uses will complement the residential component. They will attract visitors to the site, who will be afforded an opportunity to appreciate and interpret the heritage assets!

(4) the long-term financial viability of the place or object if the current use is maintained.

The current use cannot be maintained and the site is encumbered by existing heritage buildings, their inflexible form and their placement. In the absence of a commercially feasible development to subsidise the conservation outcome, the likelihood is that the site will host marginal uses that will not generate the funds that are necessary to maintain let alone conserve and adaptively re-use the heritage assets.

1.2 On Viability

The current Caydon proposal has an Internal Rate of Return of 17.51% and as outlined below this is based on a conservative analysis in that costs are potentially on the low side and sales revenue is potentially on the high side. Hence the IRR is likely to be over-estimated rather than underestimated.

The developer will have to manage the project extremely tightly to deal with the risks involved. There is little scope for further compromise on the commercial feasibility/ conservation outcome balance hence any proposal that further reduces yield and/or imposes additional conservation requirements will seriously undermine any prospect of a satisfactory conservation outcome being achieved.

6.0 Concluding comments

In undertaking this assessment of heritage impacts it has been informed by the process of seeking both heritage and planning approvals for part development of this site since the Caydon purchase in 2015. This process has resulted in a planning approval for the eastern part of the site, effectively Stage 1 as proposed in this application, less the works to Buildings B4 and B5, and a Heritage Victoria refusal for

virtually the same works, also excluding B4 and B5. From a heritage approvals perspective the fundamental concern has been the difficulty in considering and assessing a part development of the site, combined with a view that the scale, form and intensity of the Stage 1 works was unacceptable as a standalone proposition. As has been noted, the heritage application and appeal process was not one which was informed by an expert report on economic or reasonable use considerations.

Both the planning and heritage processes to date have also had regard to the Yarra Planning Scheme policies and in particular the development expectations arising from the Comprehensive Development Zone and the incorporated design principles document. The CDZ and the design principles both accept that development of this site is necessary in finding a future use for the place and also that development of some scale and height will be involved. The preferred maximum height, at both the east and west end is in the order of 12 storeys with lower heights to the Gough and Cremorne street frontages.

Of major importance in the heritage considerations, as expressed in the Heritage Council appeal determination for Stage 1, also has been the desire/need to retain the industrial aesthetic of the site and to ensure that the Nylex Sign and the B9 silos maintain their landmark status and consequential social value.

In considering these and the broader planning issues the approach, in this whole of site proposal, is one which seeks to address these concerns and also to deliver a commercially viable outcome. In this regard the focus of the conservation activities is on the core of the site. The works to B4 and B5, and the retained parts of B6, B8 and B9 are all directed at retaining and reinforcing the industrial aesthetic and the sense that, albeit adapted to a new use, the history and use of the site will remain strongly legible.

In delivering this outcome there is a balancing level of development which involves the construction of three tower elements; to the east, to the south and to the west. The size and in particular height of these towers has been informed by the consideration of the economics of development of the site and has been determined to be necessary in delivering a viable outcome. A consequence of this is that the towers, in part rise above the preferred maximum height in the CDZ and also rise above the existing B9 silo height and Nylex Sign. Recognising the need to ensure that the sign in particular remains the most prominent, if not dominant, skyline element the response is one which elevates both the silos and sign to ensure that this remains the case. As commented upon, while an unusual response to a heritage structure it is one which recognises the silo structure in particular is not of significance for its architecture or technology, but rather its overall form and striking presence. The result of the development is that the site will be transformed, but both the industrial aesthetic and the landmark presence of the silos and sign will be maintained.

Recognising that this is a site which requires considerable investment simply to retain the heritage structures, let alone to adapt them for new uses, the approach proposed is one which successfully balances the competing issues. It is a proposal which will retain those values which contribute to the significance of the place at a state and local level, albeit that the place itself will be transformed. Importantly, it will open up and reveal this major heritage site to the community, and provide for their engagement with and enjoyment of a place of appropriately recognised cultural heritage significance.

1 Descriptions of individual buildings and elements, including historical information, are taken from *Richmond Maltings Complex, Gough Street, Richmond: Conservation Management Plan*, Lovell Chen, October 2005.

2 *Richmond Maltings Complex, Gough Street, Richmond: Conservation Management Plan*, Lovell Chen, October 2005, p. 47.