

SOUTH ELEVATION - PENTRIDGE BOULEVARD



Materials & colour palette

External material, colour & finishes abbreviations

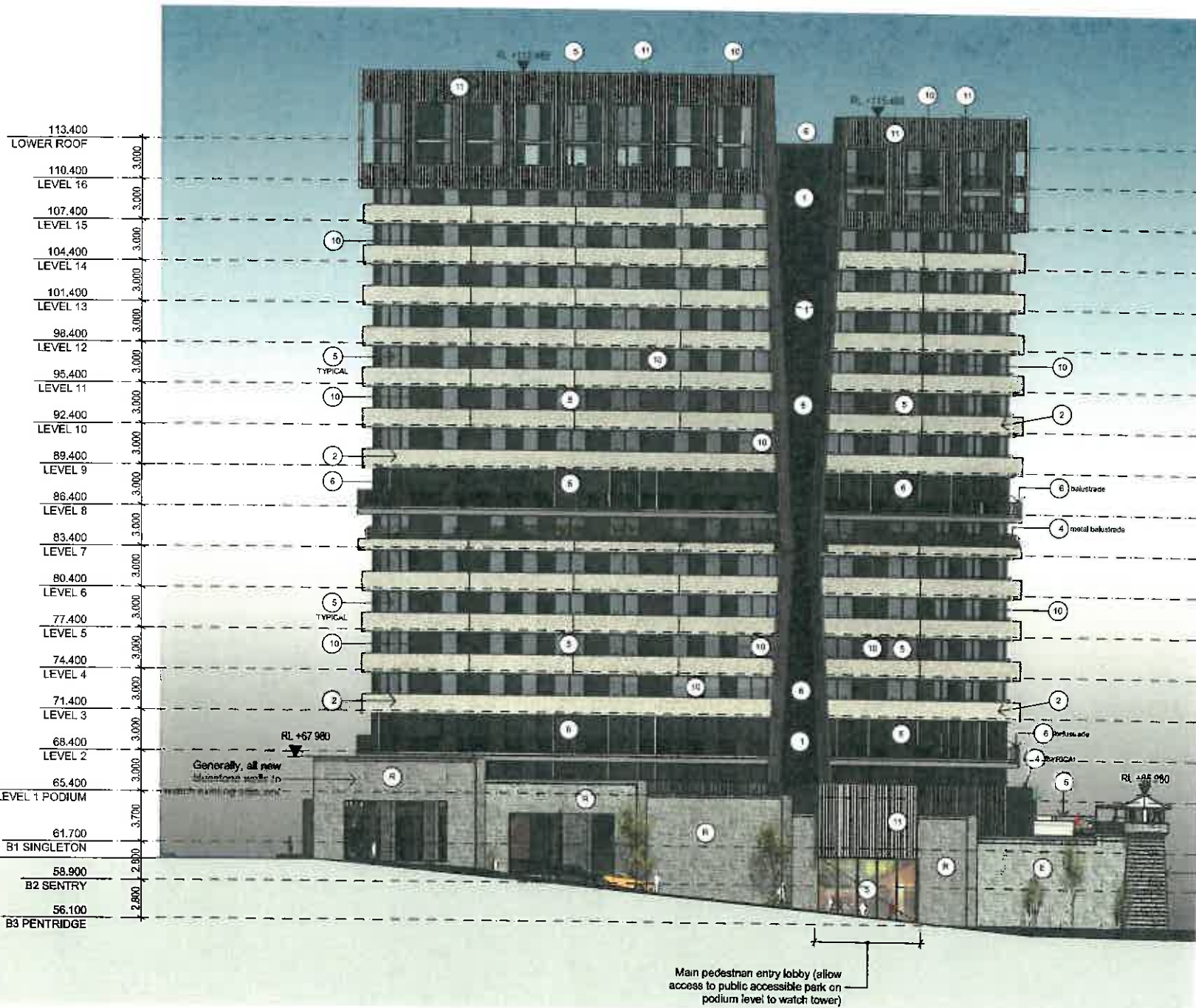
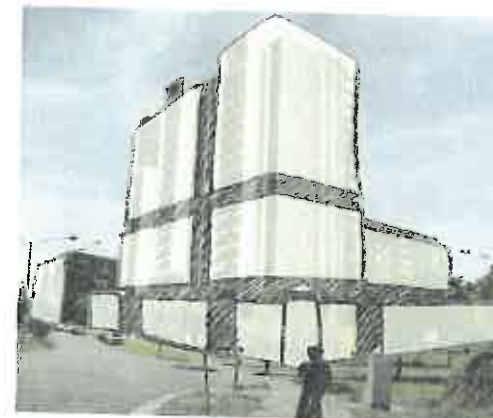
- Object indicates selected finish
- Object indicates extent of finish

Colour Schedule

- External**
- 1 Pre cast painted concrete panels - Dulux Klavier
 - 2 Pre cast painted & textured concrete panels - Dulux Klavier
 - 3 Pre cast panels - Raw finish
 - 4 Powder coated windows & door frames - Dulux Monument
 - 5 Glass-natural colour
 - 6 Glass-dark tinted colour
 - 7 Not used
 - 8 Pebbles
 - 9 Rendered blockwork- Dulux Kahlua Milk
 - 10 Painted CFC panel - Dulux Klavier
 - 11 Corrugated wall sheeting - Dulux Woodland Grey

Legend

- Rebuilt blue stone wall
- Existing blue stone wall



South Elevation

1:200



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<p>NOTE:</p> <ul style="list-style-type: none"> - Do not scale from drawing. Use figured dimensions only. - Dimensions relate to structure & do not include fittings unless noted otherwise. - Check all levels & dimensions on site prior to commencing work. - All constructions to be carried out in accordance to the Building Code of Australia & relevant Australian Standards. 	<p>CLIENT: SHAYHER DEVELOPMENT</p> <p>PROJECT: AIR APARTMENTS</p> <p>LOCATION: PENTRIDGE BOULEVARD COLBURG, VICTORIA</p> <p>DATE: 29.05.2014</p> <p>PROJECT NO: 13.01</p> <p>SCALE: A1</p> <p>REVISION: B</p>
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EAST ELEVATION - STOCKADE AVENUE



Materials & colour palette

External material, colour & finishes abbreviations

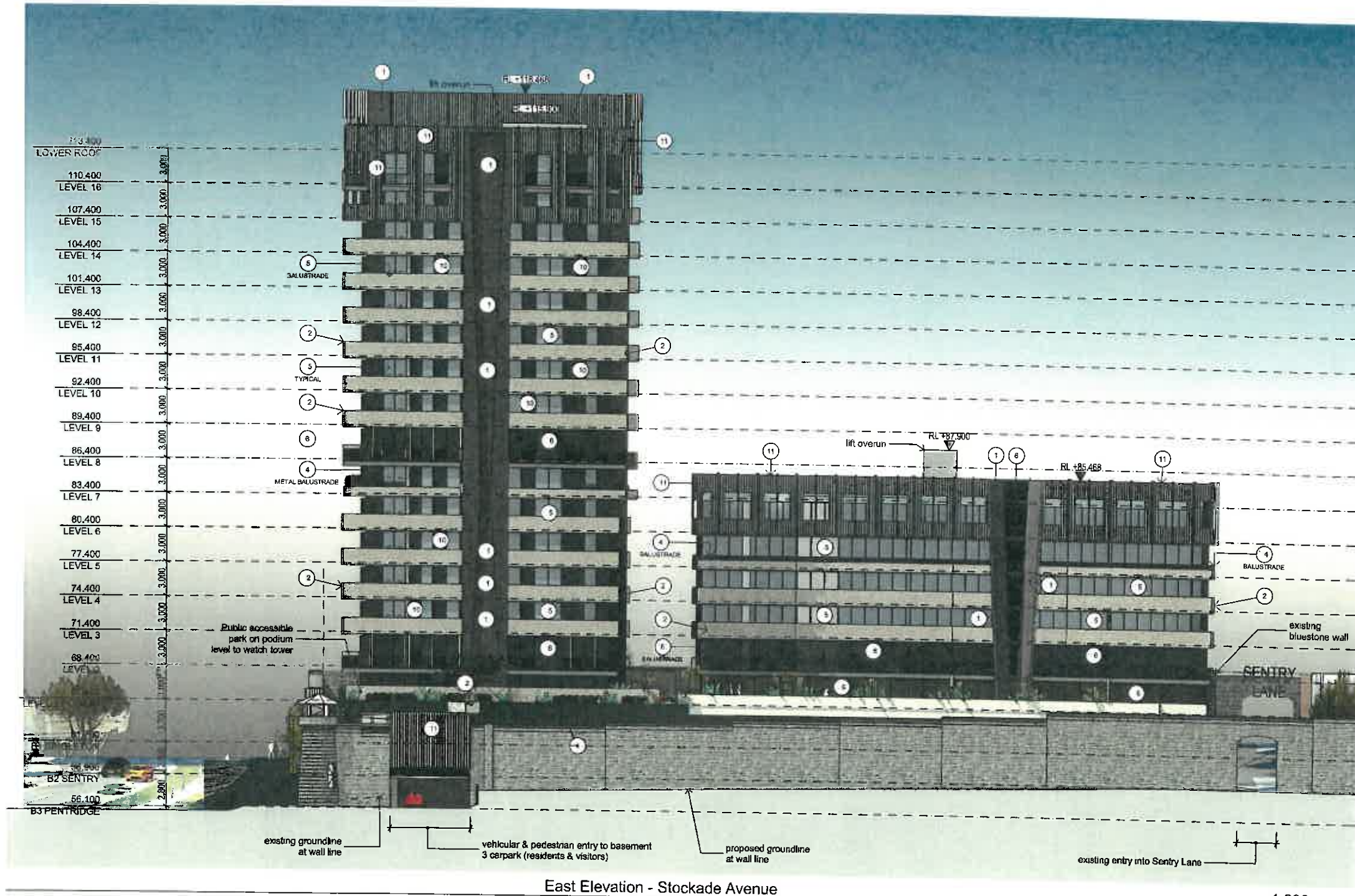
- ① Object indicates selected finish
- ② Object indicates extent of finish

Colour Schedule

- External
- ① Pre cast painted concrete panels - Dulux Klavier
 - ② Pre cast painted & textured concrete panels - Dulux Klavier
 - ③ Pre cast panels - Raw finish
 - ④ Powder coated windows & door frames - Dulux Monument
 - ⑤ Glass-natural colour
 - ⑥ Glass-dark tinted colour
 - ⑦ Not used
 - ⑧ Pebbles
 - ⑨ Rendered blockwork- Dulux Kahlua Milk
 - ⑩ Painted GFC panel - Dulux Klavier
 - ⑪ Corrugated wall sheeting - Dulux Woodland Grey

Legend

- (R) Rebuilt blue stone wall
- (E) Existing blue stone wall



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DATE	BY	NO.	DESCRIPTION
2014/09/29	JH	01	ISSUE FOR PERMIT
2014/09/29	JH	02	AMENDMENTS

PROJECT	CLIENT	DATE	SCALE
AIR APARTMENTS	SHAYHER DEVELOPMENT	29.09.2014	A1
PENTRIDGE BOULEVARD COLBURG, VICTORIA		99.04.13.01	B

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NORTH ELEVATION - SENTRY LANE



Materials & colour palette

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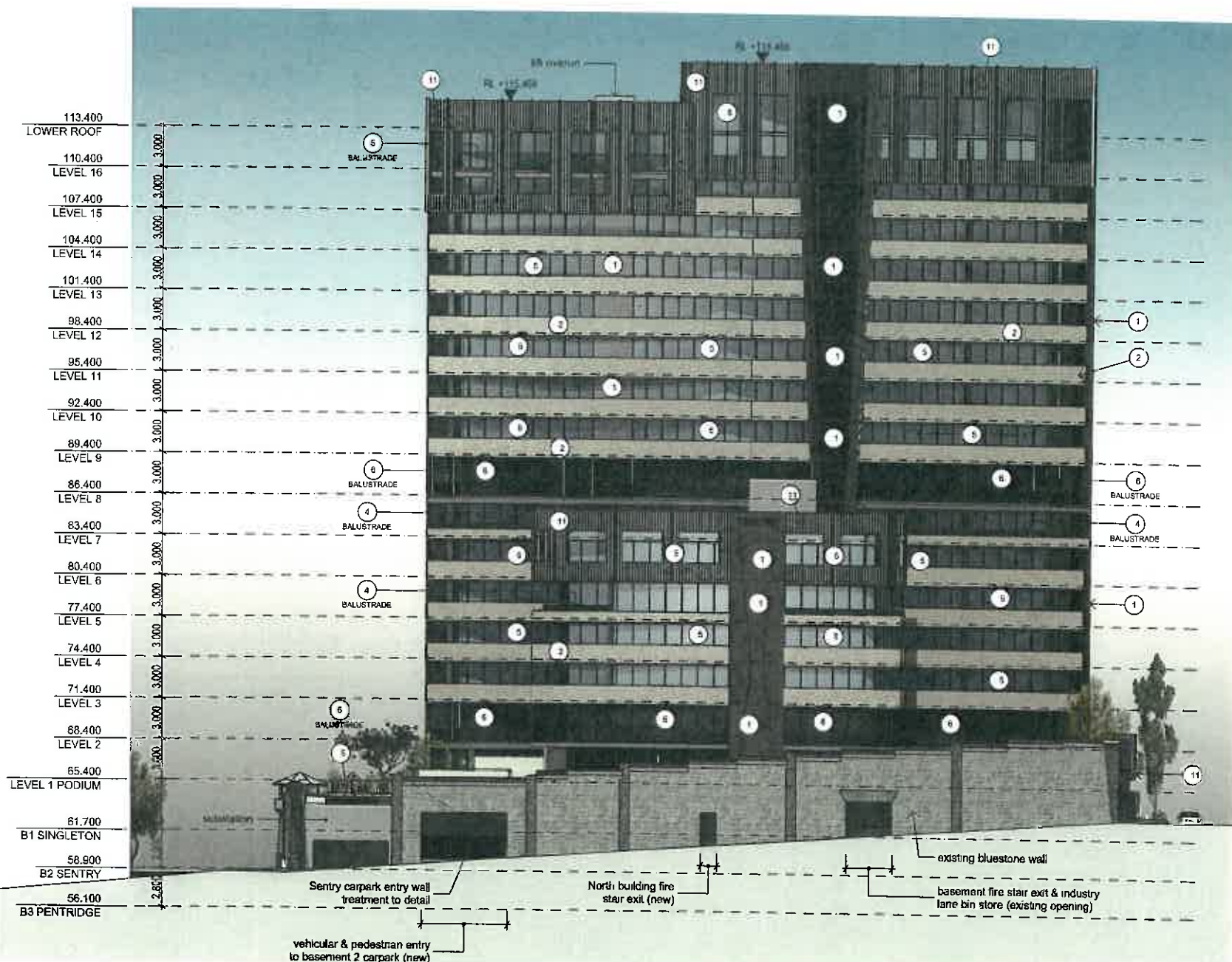
- ⑦⑦ → Object indicates selected finish
- ⑦⑦ → Object indicates extent of finish

Colour Schedule

- External
- ① Pre cast painted concrete panels - Dulux Klavier
 - ② Pre cast painted & textured concrete panels - Dulux Klavier
 - ③ Pre cast panels - Raw finish
 - ④ Powder coated windows & door frames - Dulux Monument
 - ⑤ Glass-natural colour
 - ⑥ Glass-dark tinted colour
 - ⑦ Not used
 - ⑧ Pebbles
 - ⑨ Rendered blockwork- Dulux Kahlua Milk
 - ⑩ Painted CFC panel - Dulux Klavier
 - ⑪ Corrugated wall sheeting - Dulux Woodland Grey

Legend

- Ⓡ Rebuilt blue stone wall
- ⓔ Existing blue stone wall



North Elevation - Sentry Lane

1:200



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NORTH

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DEVELOPER	SHAYHER DEVELOPMENT	DESIGNER	JH
PROJECT NUMBER	AIR APARTMENTS	DATE	23.09.2014
LOCATION	PENTRIDGE BOULEVARD COLBURG, VICTORIA	SCALE	AS SHOWN
PROJECT NUMBER	RPD Lot 1 on RP -	DATE	23.09.2014
PARISH OF	99.M.13.01	PROJECT	AI
COUNTY OF	DA.5.3	REVISION	B

WEST ELEVATION - SINGLETON ROAD



Materials & colour palette

External material, colour & finishes abbreviations

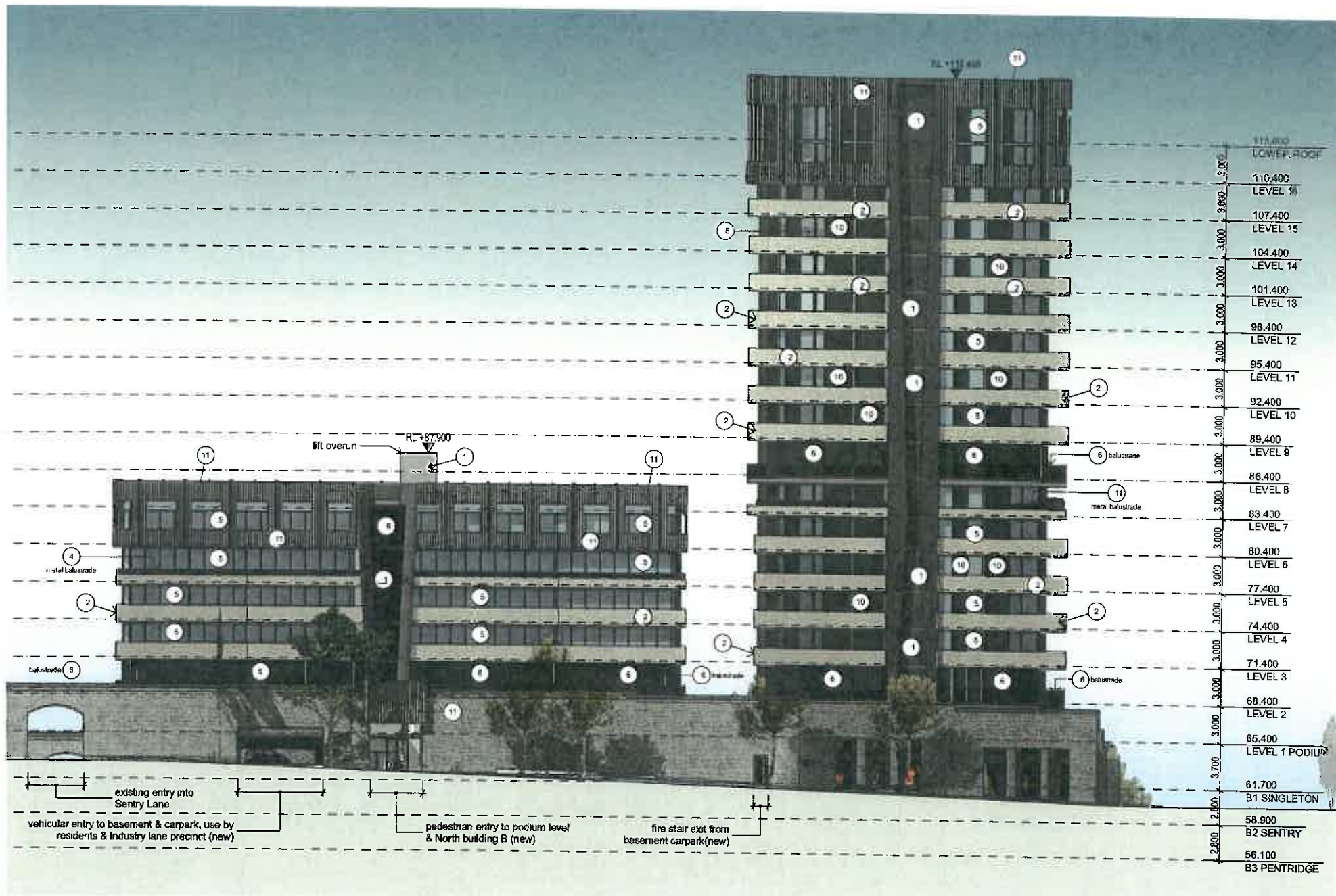
- ① → Object indicates selected finish
- ② → Object indicates extent of finish

Colour Schedule

- External
- ① Pre cast painted concrete panels - Dulux Klavier
 - ② Pre cast painted & textured concrete panels - Dulux Klavier
 - ③ Pre cast panels - Raw finish
 - ④ Powder coated windows & door frames - Dulux Monument
 - ⑤ Glass-natural colour
 - ⑥ Glass-dark tinted colour
 - ⑦ Not used
 - ⑧ Pebbles
 - ⑨ Rendered blockwork-Dulux Kahlua Mik
 - ⑩ Painted CFC panel - Dulux Klavier
 - ⑪ Corrugated wall sheeting - Dulux Woodland Grey

Legend

- R Rebuilt blue stone wall
- E Existing blue stone wall



West Elevation - Singleton Road

1:200



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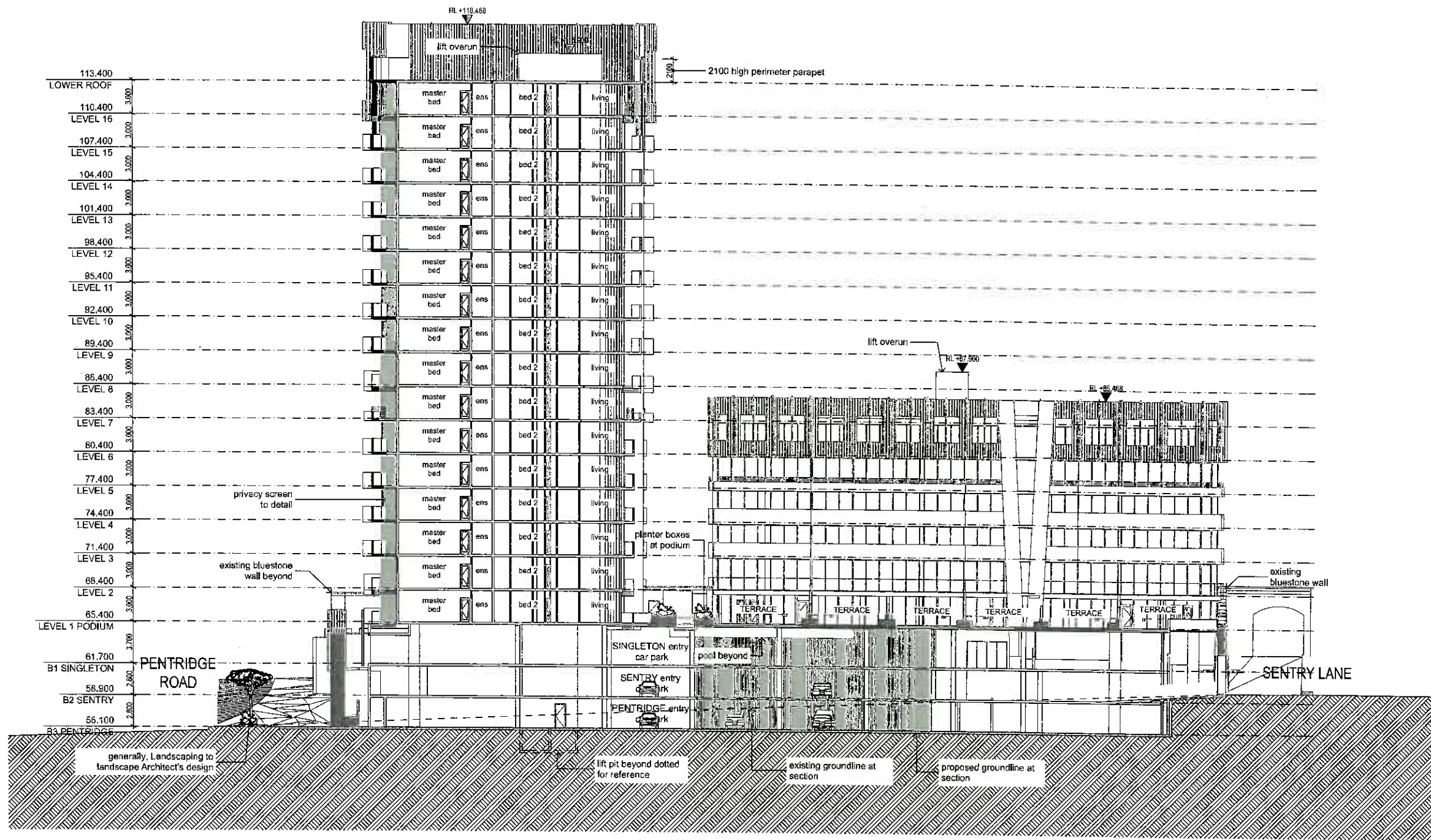


DATE	DESCRIPTION	BY	CHECKED
28/09/2014	REVISED DRAWING	JH	JH
28/09/2014	REVISED DRAWING	JH	JH
28/09/2014	REVISED DRAWING	JH	JH

NOTE
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OWNER	SHAYHER DEVELOPMENT	PROJECT MANAGER	JH
ARCHITECT	JH A	DATE	28/09/2014
PROJECT NAME	AIR APARTMENTS	SCALE	DA.5.4
PROJECT ADDRESS	PENTRIDGE BOULEVARD COLBURG, VICTORIA	PROJECT NO.	A1
PROJECT REFERENCE	RPP, Lot - on RP -	PROJECT DATE	28/09/2014
PROJECT COUNTY	PARISH OF -	PROJECT NO.	98.M.13.01
	COUNTRY OF -	PROJECT NO.	DA.5.4

SECTION A



SECTION A

1:200

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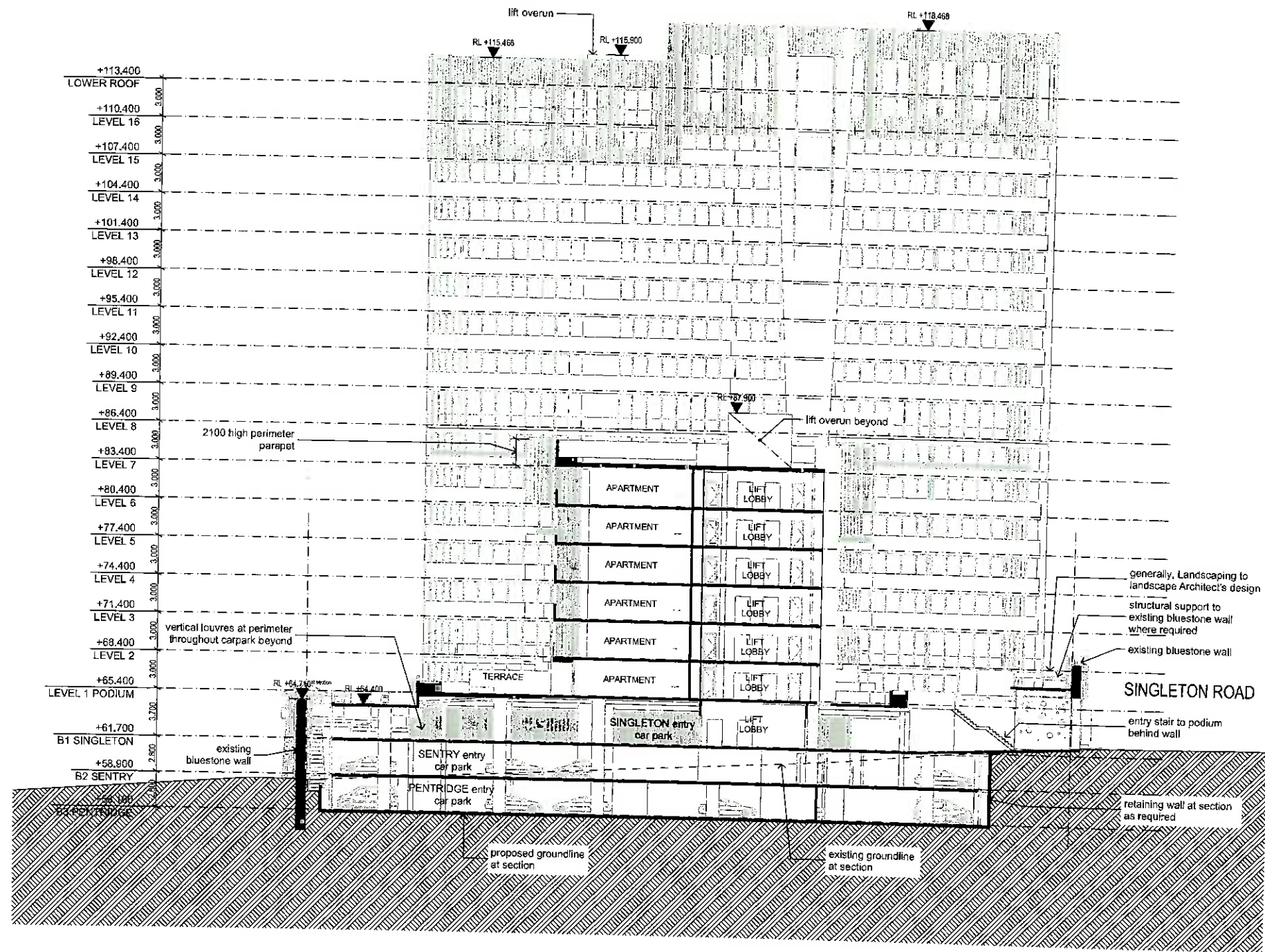


NO.	DATE	DESCRIPTION	BY
1	20.09.2014	ISSUED FOR PERMIT	JH
2	20.09.2014	AMENDMENTS	JH

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CLIENT SHAYHER DEVELOPMENT RPO: LOT - on RP - PARCEL OF COUNTRY OF -	PROJECT AIR APARTMENTS PENTRIDGE BOULEVARD COLBURG, VICTORIA	DATE 20.09.2014	SCALE AS SHOWN	PROJECT NO. DA.6.1	SECTION A1	REVISION B
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SECTION B



SECTION B

1:200

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 CONSULTANTS



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DATE	DESCRIPTION	BY	CHECKED
28.09.2014	FINAL	JH	JH

NOTE:
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 - Check all levels & dimensions on site prior to commencing work.
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OWNER SHAYHER DEVELOPMENT	DRAWN BY HR	CHECKED BY JH
PROJECT AIR APARTMENTS	SECTION Section B	
LOCATION PENTRIDGE BOULEVARD COLBURG, VICTORIA	DATE 28.09.2014	SCALE A1
PROJECT RPD: Lot - on RP - PARISH OF - COUNTY OF -	PROJECT NO. 98.M.13.01	DATE 04.6.2

MAIN VIEWS



CAMERA POSITION PLAN



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OWNER SHAYHER DEVELOPMENT	DESIGNER HR	DATE 28.09.2014	SCALE DA.7.1
PROJECT AIR APARTMENTS	LOCATION MAIN VIEWS	NO. OF SHEETS 11	SHEET NO. A1
ADDRESS PENTRIDGE BOULEVARD COLBURG, VICTORIA	PROJECT NO. RFD-LOT - ON RP -	DATE 28.09.2014	SCALE DA.7.1
PROJECT NO. RFD-LOT - ON RP -	DATE 28.09.2014	SCALE DA.7.1	SHEET NO. A1

VIEW 1 - PENTRIDGE BOULEVARD TO N - W



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DATE	BY	REVISION
28.09.2014	JH	ISSUED FOR PERMIT

NOTE
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CLIENT SHAYHER DEVELOPMENT	PROJECT NO.	DATE	SCALE
	AIR APARTMENTS	View 1 - Pentridge Boulevard to N-W	1:100
PROJECT LOCATION PENTRIDGE BOULEVARD COLBURG, VICTORIA	DATE	SCALE	PROJECT NO.
	28.09.2014	1:100	DA.7.2
PROJECT NO.	DATE	SCALE	PROJECT NO.
88.M.13.01	28.09.2014	1:100	DA.7.2

VIEW 2 - PENTRIDGE BOULEVARD TO N - E



2

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2	DATE	DESCRIPTION	BY
1	29.05.2014	ISSUE FOR PERMIT	JH
AMENDMENTS			

NOTE:
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 - All provisions to be carried out in accordance to the Building Code of Australia & relevant Australian Standards.

OWNER	SHAYHER DEVELOPMENT	DATE	29.05.2014	DRAWN BY	JH
PROJECT	AIR APARTMENTS	PROJECT NO.	DA.7.3	SCALE	A1
LOCATION	PENTRIDGE BOULEVARD COLBURG, VICTORIA	DATE	29.05.2014	PROJECT NO.	DA.7.3
PROJECT NO.	88.M.13.01	DATE	29.05.2014	SCALE	A1
PURCHASER	RPO, L21 - on RP -	PROJECT NO.	88.M.13.01	SCALE	A1
PURCHASER	PARISH OF -	PROJECT NO.	88.M.13.01	SCALE	A1
PURCHASER	COUNTY OF -	PROJECT NO.	88.M.13.01	SCALE	A1

VIEW 3 - PENTRIDGE BOULEVARD TO E



3

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NO.	DATE	BY	REVISION
1	2014	JH	ISSUE FOR PERMIT
2	2014	JH	REVISED PERMIT
3	2014	JH	REVISED PERMIT

NOTE
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 - Dimensions refer to structure & do not include bridge unless noted otherwise.
 - Check all levels & dimensions on site prior to commencing work.
 - All developments to be carried out in accordance to the Building Code of Australia & relevant Australian Standards.

OFFICE SHAYHER DEVELOPMENT PROJECT NO: 10000000000000 AIR APARTMENTS PENTRIDGE BOULEVARD COLBURG, VICTORIA	PROJECT HR DESIGNER JH View 3 - Pentridge Boulevard to E	DATE 29.09.2014 PROJECT NO. 98.M.13.01 COUNTY OF -	SCALE DA.7.4 SHEET NO. B
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VIEW 4 - CHAMP STREET TO S - E



4

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 A PARTNER WITH SHAYHER GROUP



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NO.	DATE	BY	REVISIONS
1	20.09.2014	JH	ISSUE FOR PERMIT
2	26.09.2014	JH	AMENDMENTS

NOTE:
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OWNER	PROJECT NO.	DATE	SCALE	PROJECT
SHAYHER DEVELOPMENT	HR	20.09.2014	1:1	A1
AIR APARTMENTS	JH	26.09.2014	DA.7.5	B
PENTRIDGE BOULEVARD COLBURG, VICTORIA	View 4 - Champ Street to S-E			
STRATEGIC RPD: Lot - on RP - PARISH OF - COUNTY OF -				

VIEW 5 - PENTRIDGE SITE TO S - E



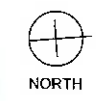
5

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NO.	DATE	BY	DESCRIPTION
1	20.05.2014	HR	ISSUE FOR PERMIT
2	29.05.2014	HR	AMENDMENTS

NOTE
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CLIENT	PROJECT TITLE	PROJECT NO.	DATE
SHAYHER DEVELOPMENT	AIR APARTMENTS	View 5 - Pentridge site to S-E	29.05.2014
LOCATION	PROJECT NUMBER	SCALE	DATE
RPD, Lot - on RP -	28.M.13.01	DA-7.6	2014
PARCH OF -	COUNTY OF -		

IEWS FROM PENTRIDGE SITE TO S - E



Aerial view taken from RL 227.9 and the target RL is set at 155.52



view F taken from RL 65.93 (RL plus 1600 for eye level) (existing RL where photo is taken RL 64.33) and the target RL is set at 72.00



view G taken from RL 77.2 and the target RL is set at 74.0



view H taken from RL 65.80 (RL plus 1600 for eye level) (existing RL where photo is taken RL 64.20) and the target RL is set at 69.80

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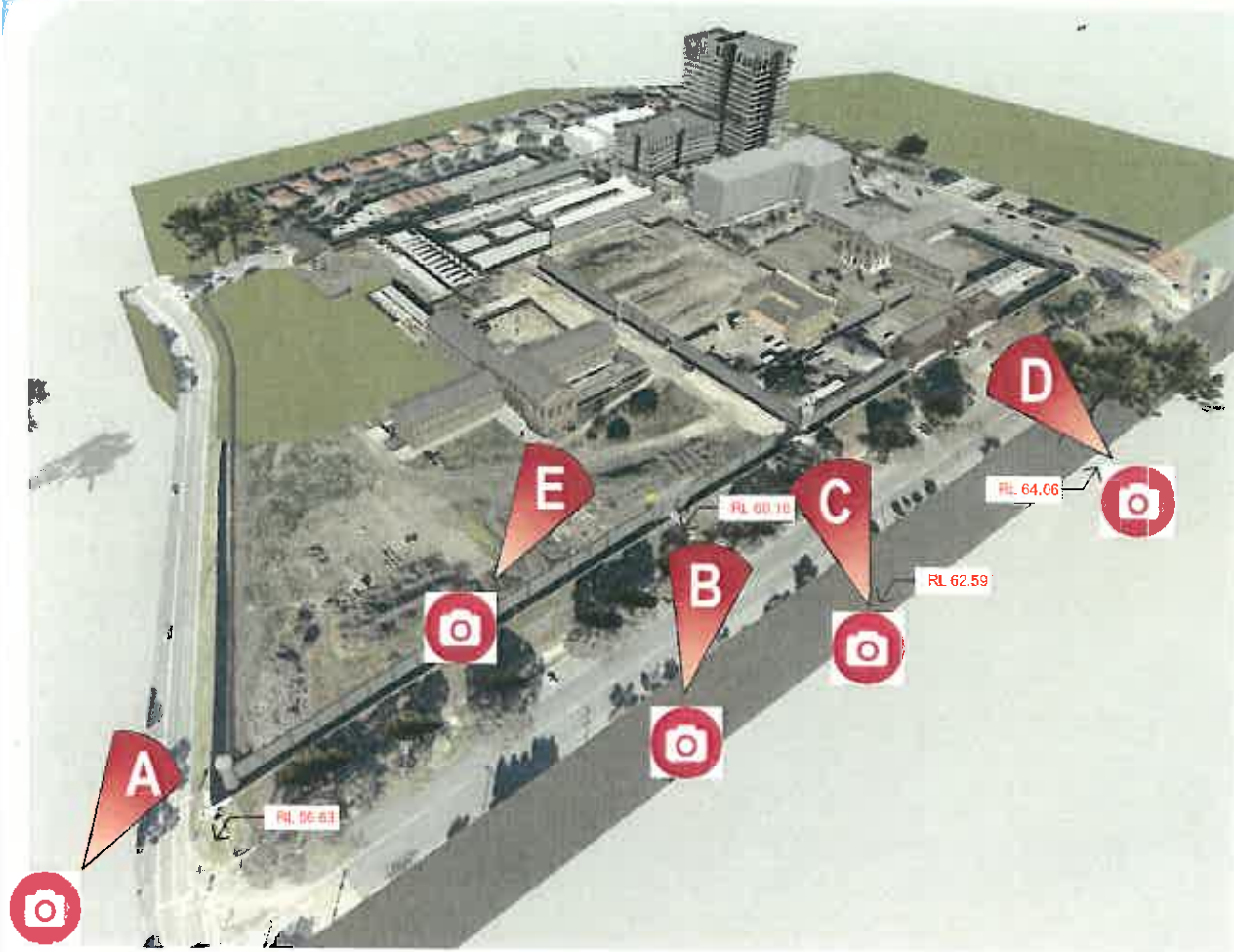


NO.	DATE	BY	CHKD
1	29.09.2014	JH	JH
AMENDMENTS			

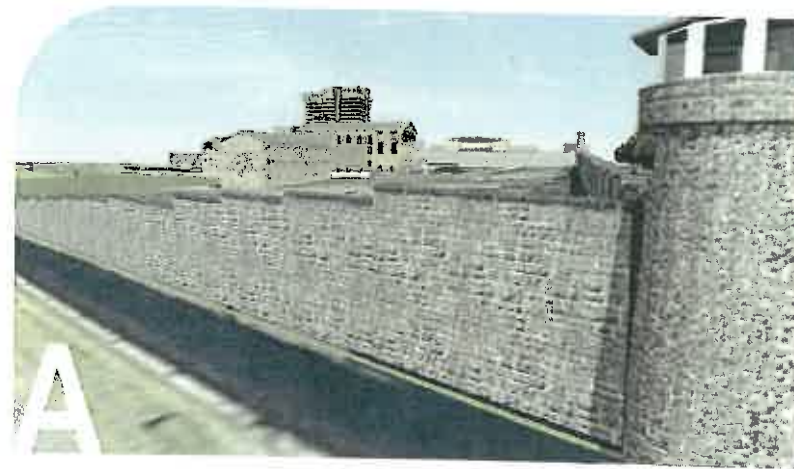
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CLIENT	SHAYHER DEVELOPMENT	PROJECT NO.	DA.7.7
PROJECT	AIR APARTMENTS	DATE	29.09.2014
LOCATION	PENTRIDGE BOULEVARD COLBURG, VICTORIA	SCALE	A1
PROJECT NO.	RPD - Lot - on RP -	DATE	29.09.2014
PROJECT NO.	98.M.13.01	DATE	DA.7.7
PROJECT NO.		DATE	

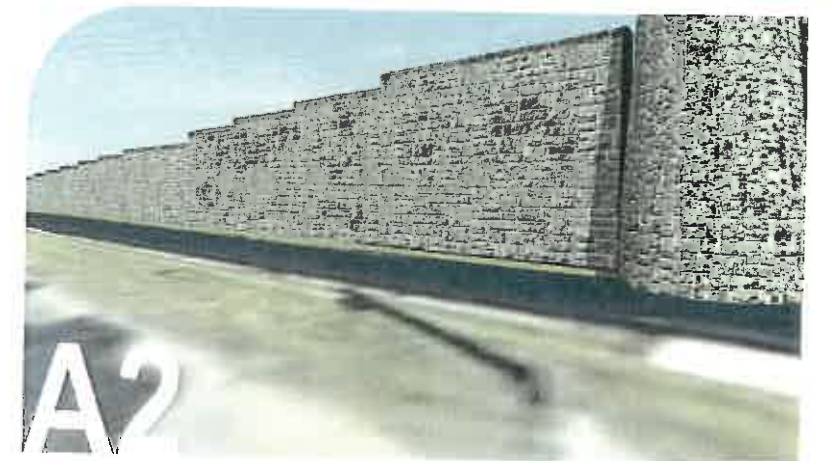
VIEWS FROM CHAMP STREET TO S - E



Aerial view taken from RL 254.3 and the target RL is set at 188.95



view A taken from RL 63.2 (existing RL at the base of the tower is 56.63) and the target RL is set at 50.27



view A2 taken from RL 58.43 (RL plus 1600 for eye level) (existing RL at the base of the tower is 56.63) and the target RL is set at 55.00



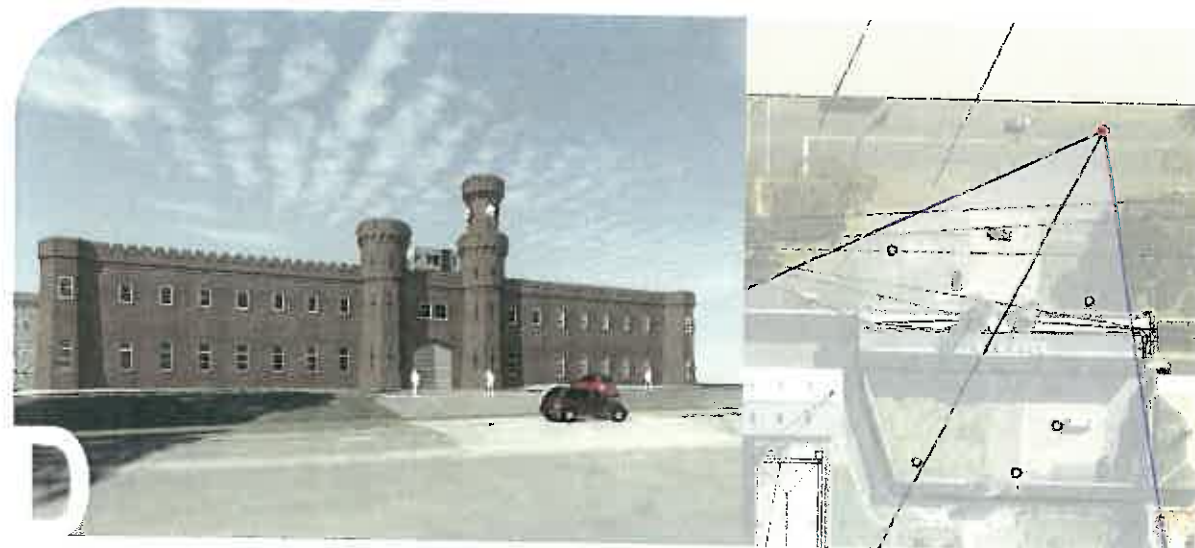
view B taken from RL 63.34 (RL plus 1600 for eye level) (existing RL adjacent to roller door is 61.74) and the target RL is set at 90.00



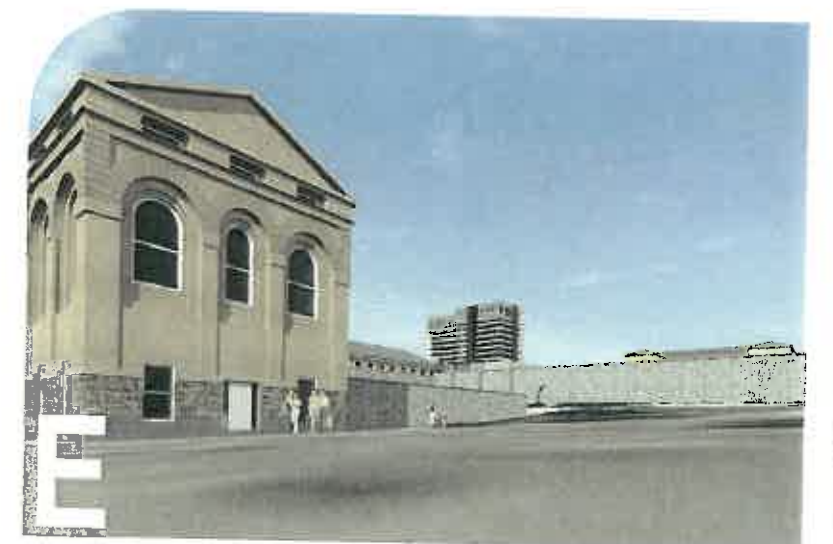
view B2 taken from RL 70.89 (existing RL adjacent to roller door is 61.74) and the target RL is set at 32.49



view C taken from RL 64.19 (RL plus 1600 for eye level) (existing RL at kerb is 62.59) and the target RL is set at 95.00



view D taken from RL 65.66 (RL plus 1600 for eye level) from the middle of the road (existing RL at kerb is 64.06) and the target RL is set at 95.00



view E taken from RL 59.89 (RL plus 1600 for eye level) (existing RL where photo is taken 58.29) and the target RL is set at 110.00

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SHAYHER DEVELOPMENT PROJECT 2007/12/14/14/14/14 AIR APARTMENTS PENTRIDGE BOULEVARD COLBURG, VICTORIA		PROJECT: Views from Champ Street to S-E		DATE: 29.09.2014 SCALE: A1 PROJECT: 5

AIR APARTMENTS

PENTRIDGE, COBURG, VICTORIA

LANDSCAPE ARCHITECTURAL DEVELOPMENT APPLICATION REPORT
Prepared for SHAYHER GROUP

SEPTEMBER 2015 // 14033_AIR // ISSUE C



shayhergroup
LANDSCAPE ARCHITECTURE

VERDÉ

CLIENT

SHAYHER GROUP - A PAU JAR GROUP AFFILIATE

PREPARED BY

VERDE DESIGN GROUP PTY LTD

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REVISION SCHEDULE

ISSUE A	12.01.15
ISSUE B	29.01.15
ISSUE C	18.09.15



THE **LANDSCAPE DESIGN INTENT** FOR THE AIR APARTMENTS DEVELOPMENT IS TO PROVIDE A SIMPLE BUT STRONG LANDSCAPE TREATMENT THAT CELEBRATES AND EXPRESSES THE MONUMENTAL NATURE OF EXISTING WALLS WHILST PROVIDING A SUITABLE, RESPECTFUL SETTING FOR THE NEW ARCHITECTURAL FORMS.

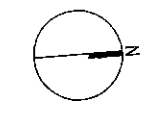
POINTS OF INTERFACE WITH THE WALLS AND ARCHITECTURE WILL BE TREATED THROUGH BOTH SOFT AND HARD LANDSCAPE TO FACILITATE INTERACTION AND CELEBRATION WHILST PROVIDING LEGIBLE AND PERMEABLE SPACES.

INTERNAL PAVEMENT TREATMENTS WILL EXTEND INTO THE PUBLIC REALM IN ORDER TO TRANSCEND THE PHYSICAL AND PSYCHOLOGICAL BARRIERS CREATED BY THE PRISON WALLS; AND PUBLICLY ACCESSIBLE OPEN SPACE AREAS WILL ENCOURAGE INTERACTION AND RECREATION WHILST FRAMING SIGNIFICANT VIEWS.

PODIUM SPACES WILL CREATE A RELAXED AND HUMAN SCALED EXPERIENCE WITH A VARIETY OF AMENITIES TO ENCOURAGE USER INTERACTION WHILST PROVIDING A SAFE AND ACCESSIBLE SPACE.



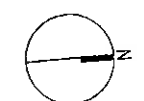
- 1 Corner Plaza with public artwork and built-in seating
- 2 Staggered footpath to Singleton Road to encourage interaction with the heritage walls and facilitate the incorporation of street planting and street furniture
- 3 Existing street trees to be retained
- 4 Street furniture and lighting to streetscape
- 5 Feature bluestone cobble to extend to street to define the pedestrian and vehicular entry points
- 6 Pedestrian footpath to Pentridge Boulevard to provide access to building and facilitate effective pedestrian movement
- 7 Feature bluestone cobble to extend to footpath to define the main building entry
- 8 Entry area to incorporate planting, seating and feature lighting
- 9 Feature raised deck area to promote interaction with the existing watchtower and provide stadium seating and incorporate feature lighting
- 10 Corner Plaza to define entry point and provide connection to public park area
- 11 Proposed public open space 'festival lawn' to provide passive and active recreational opportunities and maintain views to the existing watchtower and stone walls
- 12 Spreading trees to driveway to provide shade and privacy for neighbouring residents
- 13 Feature trees to public park to provide shade and frame views to watchtower
- 14 Feature trees to external garden areas to provide shade and frame views to stone walls
- 15 Internal garden areas to soften the build form and provide pleasing view for residents above
- 16 Proposed Pool area with BBQ and seating facilities and vine covered pergola structure
- 17 Raised planters incorporating mass planting and feature small tree species
- 18 Podium circulation areas to incorporate feature lighting including overhead lighting on wires
- 19 Proposed feature pavement treatment to thresholds to express line of former wall
- 20 Proposed publicly accessible park and watchtower access with various seating and recreational elements



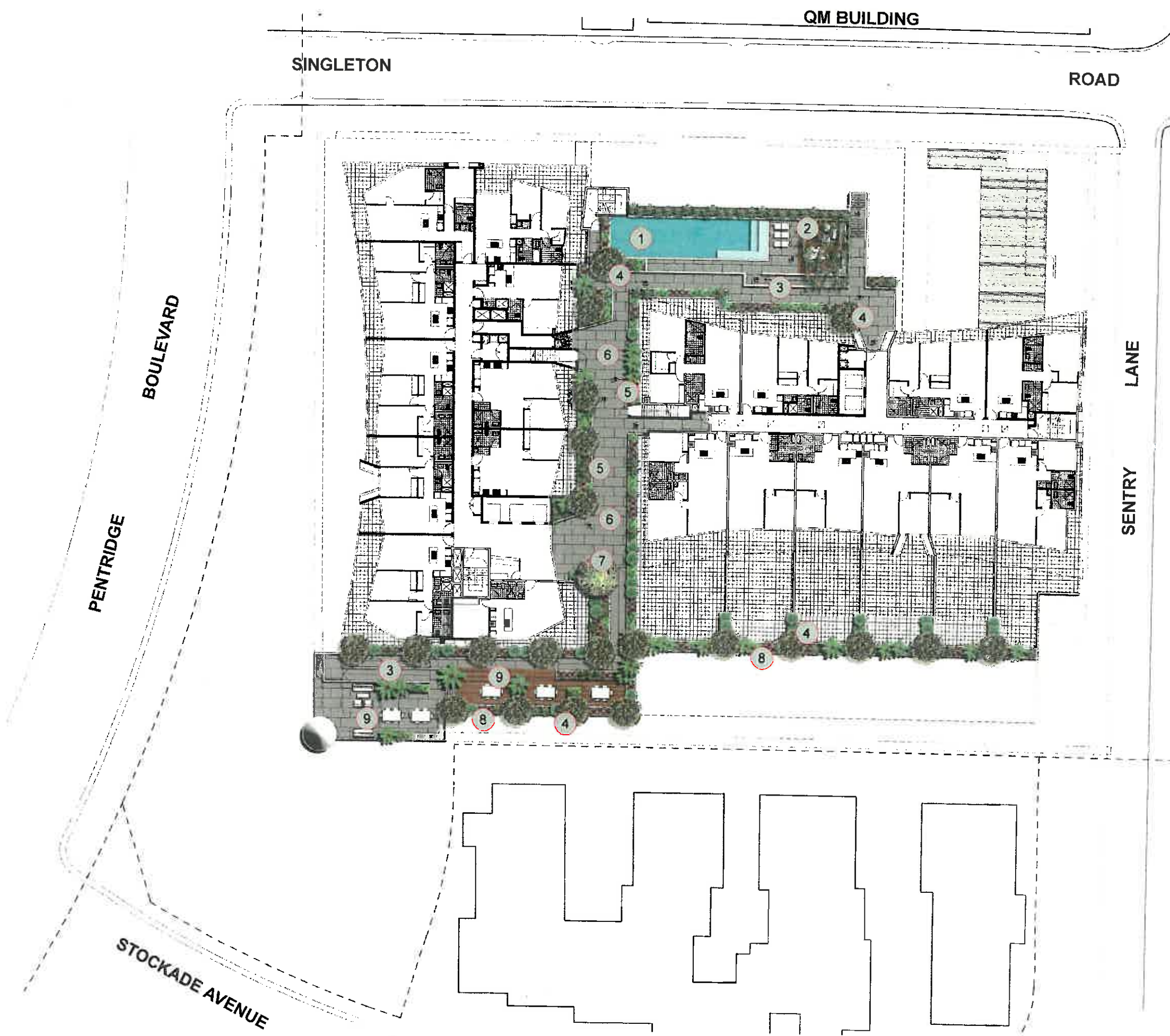
Scale: 1:200 @ A1 // 1:400 @ A3



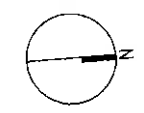
- 1 Corner Plaza with public artwork and built-in seating
- 2 Staggered footpath to Singleton Road to encourage interaction with the heritage walls and facilitate the incorporation of street planting and street furniture
- 3 Existing street trees to be retained
- 4 Street furniture and lighting to streetscape
- 5 Feature bluestone cobble to extend to street to define the pedestrian and vehicular entry points
- 6 Pedestrian footpath to Pentridge Boulevard to provide access to building and facilitate effective pedestrian movement
- 7 Feature bluestone cobble to extend to footpath to define the main building entry
- 8 Entry area to incorporate awning extension, planting, seating and feature lighting
- 9 Feature raised deck area to promote interaction with the existing watchtower and provide stadium seating and incorporate feature lighting
- 10 Corner Plaza to define entry point and provide connection to public park area
- 11 Proposed public open space 'festival lawn' to provide passive and active recreational opportunities and maintain views to the existing watchtower and stone walls
- 12 Spreading trees to driveway to provide shade and privacy for neighbouring residents
- 13 Feature trees to public park to provide shade and frame views to watchtower
- 14 Feature trees to external garden areas to provide shade and frame views to stone walls
- 15 Internal garden areas to soften the build form and provide pleasing view for residents above
- 16 Feature lighting throughout to wash stone walls and spotlight feature elements
- 17 Pebble treatment to ground level maintenance access areas
- 18 Feature mass planting to all external areas to soften and enhance the existing walls whilst enhancing the clarity of visual and spatial connections
- 19 Proposed feature pavement treatment to thresholds to express line of former wall



Scale: 1:200 @ A1 // 1:400 @ A3



- ① Proposed raised swimming pool area
- ② Proposed BBQ and seating facilities with vine covered pergola structure and lighting overhead
- ③ PWD access ramps
- ④ Feature small tree species to provide shade and focal points to circulation / balcony areas
- ⑤ Raised planters incorporating mass planting
- ⑥ Podium circulation areas to incorporate feature lighting including overhead lighting on wires
- ⑦ Feature spreading tree to terminate view corridor
- ⑧ Mass planting to raised planters to provide privacy to balconies
- ⑨ Proposed publicly accessible park and watchtower access with various seating and recreational elements



Scale: 1:200 @ A1 // 1:400 @ A3

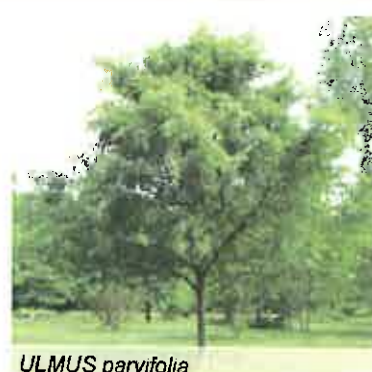
GROUND LEVEL - PUBLIC REALITY TREES



GROUND LEVEL - STREET TREES



GROUND LEVEL - TREES IN PROXIMITY TO HERITAGE STRUCTURES



SHRUBS AND GROUNDCOVERS



ASPLENIUM australasicum



CYCAS sp.



DIOON spinulosum



LEPIDOZAMIA peroffskyana



RHAPIS excelsa



ZAMIA sp.



AGAPANTHUS sp.



CALATHEA sp.



CALLISTEMON sp.



CLIVEA mtrniata



CORDYLINE sp.



DIANELLA sp.



DIETES grandiflora



DIETES bicolor



HARDENBERGIA sp.



HYMENOCALLIS speciosa



LIRIOPE 'Just Right'



LIRIOPE 'Stripe White'



LOMANDRA sp.



MICHELIA figo



OPHIPOGON japonicus



PHILODENDRON 'Xanadu'



RHAPHIOLEPIS sp.



STRELITZIA reginae



SYZYGIIUM sp.



TRACHELOSPERMUM sp.



VIOLA hederacea



5 Shadows 1pm 22 September



6 Shadows 2pm 22 September



7 Shadows 3pm 22 September

Latitude: -37°46'
Longitude: 144°57'

North Direction

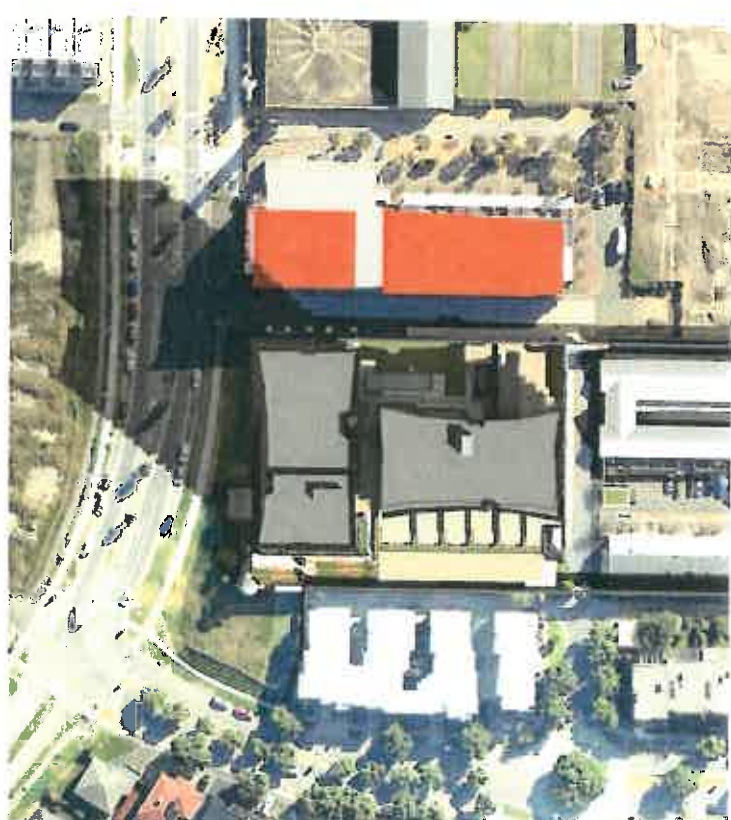
2015 Time Zones - Melbourne

AEDT UTC+11h			AEST UTC+10h					AEDT UTC+11h			
Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec

The graphical overview shows clock changes in Melbourne during 2015.



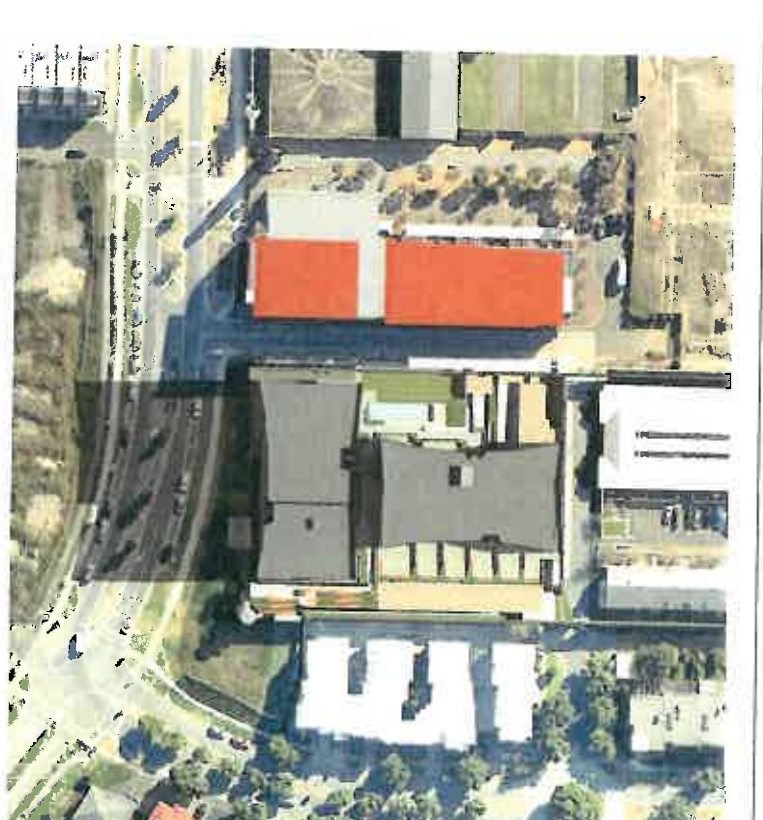
1 Shadows 9am 22 September



2 Shadows 10am 22 September



3 Shadows 11am 22 September



4 Shadows 12noon 22 September

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NOTE - Do not scale from drawing. Use figured dimensions only. - Dimensions relate to structure & do not include fringe unless noted otherwise. - Check all levels & dimensions on site prior to commencing work. - All constructions to be carried out in accordance to the Building Code of Australia & relevant Australian Standards.	SHAYHER DEVELOPMENT PROJECT MANAGER AIR APARTMENTS PENTRIDGE BOULEVARD COLBURG, VICTORIA	DRAWN: HR CHECKED: JH DATE: 29.09.2014 PROJECT NO: 99.M.13.01	TITLE: Shadow diagrams 22nd September 2015 SCALE: AS SHOWN DRAWN BY: DA.B.D CHECKED BY: JH
	SITE NO: 100 PROJECT: AIR APARTMENTS SHEET NO: 01/04 AMENDMENTS:	PARISH OF: COUNTY OF:	DATE: 29.09.2014 PROJECT NO: 99.M.13.01